

Consent Agenda

October 15, 2024

MET IN REGULAR SESSION

The Board of Supervisors met in regular session at 10:00 A.M. All members present. Chairperson Miller presiding.

PLEDGE OF ALLEGIANCE

1. CONSENT AGENDA

After discussion was held by the Board, a Motion was made by Belt, and second by Jorgensen, to approve:

- A. October 8 2024, Minutes as read.
- B. Renewal of Special Class C Retail Alcohol License/Outdoor Service to Pioneer Trail Orchard & Pumpkin Patch L.L.C. d/b/a Pioneer Trail Orchard and Pumpkin Patch, Council Bluffs.
- C. September 2024 Vendor Publication Report.
- D. Public Health – Employment of Logan Hotz as a Promotions Coordinator.

UNANIMOUS VOTE. Motion Carried.

2. SCHEDULED SESSIONS

Motion by Belt, second by Shea, to open Public Hearing on **Ordinance No. 2024-06**, an ordinance to amend the Official Zoning Map of Pottawattamie County, Iowa.

Roll Call Vote: AYES: Miller, Belt, Wichman, Shea, Jorgensen. Motion Carried.

Motion by Belt, second by Shea, to close public hearing.

Roll Call Vote: AYES: Miller, Belt, Wichman, Shea, Jorgensen. Motion Carried.

Motion by Belt, second by Shea, to approve First Consideration of **Ordinance No. 2024-06**, an ordinance to amend the Official Zoning Map of Pottawattamie County, Iowa by changing the district designation of approximately 5.0 acres from a Class R-2(Urban Transitional) to a Class C-1 (Highway Commercial) District; and setting date for Second Consideration for October 22, 2024.

Roll Call Vote: AYES: Miller, Belt, Wichman, Shea, Jorgensen. Motion Carried.

Motion by Belt, second by Shea, to open Public Hearing on **Ordinance No. 2024-07**, an ordinance to amend Pottawattamie County, Iowa. Zoning Ordinance.

Roll Call Vote: AYES: Miller, Belt, Wichman, Shea, Jorgensen. Motion Carried.

Motion by Belt, second by Shea, to close public hearing.

Roll Call Vote: AYES: Miller, Belt, Wichman, Shea, Jorgensen. Motion Carried.

Motion by Belt, second by Shea, to approve First Consideration of **Ordinance No. 2024-07**, an ordinance to amend Pottawattamie County, Iowa Zoning Ordinance, Chapter 8.045 Highway Commercial District; and setting date for Second Consideration; and setting date for Second Consideration for October 22, 2024.

Roll Call Vote: AYES: Miller, Belt, Wichman, Shea, Jorgensen. Motion Carried.

Jeff Franco/Director, Conservation appeared before the Board to provide an update on the MAPA award presented to Pottawattamie County Conservation.

Discussion only. No Action Taken.

Jeff Franco/Director, Conservation and Jeremy Yost/Natural Resources Technician, Conservation appeared before the Board for presentation of the REAP Grant Award in the amount of \$450,000.

Discussion only. No Action Taken.

Motion by Shea, second by Belt, to approve Director to sign and submit a response proposal to BEHEOPC-25-201 Behavioral Health Administrative Services Organizations Request for Proposals for District 4 and 1, to the Iowa Department of Health and Human Services.

UNANIMOUS VOTE. Motion Carried.

3. OTHER BUSINESS

Motion by Wichman, second by Belt, to deny tax suspension pursuant to Iowa Code Section 427.9, for property located at 3618 Stuart Blvd, Council Bluffs, Iowa.

UNANIMOUS VOTE. Motion Carried.

4. COMMITTEE APPOINTMENTS

Board discussed Committee meetings from the past week.

5. RECEIVED/FILED

A. Salary Action(s):

- 1) Conservation – Employment of Terry Friis as a Seasonal Snowmaking Team Member.
- 2) Conservation - Payroll status changes for Burn Crew Members Lane Vennick, Michael Genereux, Warren Epp, Bennett Amdor.
- 3) Conservation - Employment of Jacob Taylor as Burn Crew Member.
- 4) Sheriff – Payroll status changes for Jaron Neumann and Teresa Schultz.

6. PUBLIC COMMENTS

No public comments.

7. ADJOURN

Motion by Wichman, second by Belt, to adjourn meeting.

UNANIMOUS VOTE. Motion Carried.

THE BOARD ADJOURNED SUBJECT TO CALL AT 10:55 A M.

Susan Miller, Chair

ATTEST: _____
Melvyn Houser, Auditor

APPROVED: October 22, 2024

PUBLISH: X

October 17, 2024

MET IN REGULAR SESSION

The Board of Supervisors met in regular session at 9:00 A.M. All members present with Supervisor Belt appearing at 9:25 A.M. Chairperson Miller presiding.

1. OPEN SESSIONS

The Board met with candidate on evaluation of individual's hiring.
Discussion only. No Action Taken.

2. CLOSED SESSION

Motion by Shea, second Belt, to go into Closed Session pursuant to Iowa Code 21.5.(1)(i) for discussion and/or decision on evaluation of individual's hiring.

Roll Call Vote: AYES: Miller, Belt, Wichman, Shea, Jorgensen. Motion Carried.

Motion by Shea, second by Belt, to go out of Closed Session.

Roll Call Vote: AYES: Miller, Belt, Wichman, Shea, Jorgensen. Motion Carried.

3. ADJOURN

Motion by Belt, second by Shea, to adjourn meeting.

UNANIMOUS VOTE. Motion Carried.

THE BOARD ADJOURNED SUBJECT TO CALL AT 11:15 A. M.

Susan Miller, Chair

ATTEST:

Jana Lemrick, Director Human Resources

APPROVED: October 22, 2024

PUBLISH: X

Scheduled Sessions

Matt Wyant/Director, Planning and Development

Second Consideration of Ordinance No. 2024-06, an ordinance to amend the Official Zoning Map of Pottawattamie County, Iowa by changing the district designation of approximately 5.0 acres from a Class R-2 (Urban Transitional) to a Class C-1 (Highway Commercial) District; and to adopt Ordinance No. 2024-06 into law.

RECORDER'S COVER SHEET

Prepared by:

Pottawattamie County Office of Planning and Development
223 South 6th Street, Suite 4
Council Bluffs, IA 51501-4245
(712) 328-5792

Return Document to:

Pottawattamie County Office of Planning and Development
223 South 6th Street, Suite 4
Council Bluffs, IA 51501-4245
(712) 328-5792

Document Title:

Pottawattamie County
Ordinance #2024-06

**POTTAWATTAMIE COUNTY, IOWA
ORDINANCE NO. 2024-06**

AN ORDINANCE to amend the Official Zoning Map of Pottawattamie County, Iowa, by changing the district designation of approximately 5.0 acres from a Class R-2 (Urban Transitional) District to a Class C-1 (Highway Commercial) District.

BE IT ORDAINED BY THE BOARD OF SUPERVISORS OF POTTAWATTAMIE COUNTY, IOWA

SECTION 1 - AMENDMENTS: That the Official Zoning Map, as adopted by reference in Section 8.003.020 of the Pottawattamie County, Iowa, Zoning Ordinance, be and the same is hereby amended by changing the district designation from its present designation of a Class R-2 (Urban Transitional) District to a Class C-1 (Highway Commercial) District of certain real estate, as shown on the attached plat and which is legally described as follows:

KNOX TWP PARCEL 24078 OF 15-77-39

SECTION 2 - SEVERABILITY: That should any section or provision of this Ordinance be declared by a court of competent jurisdiction to be invalid, that decision shall not effect that validity of the Ordinance as a whole or any part thereof, other than the part so declared to be invalid.

SECTION 3 - REPEAL OF CONFLICTING ORDINANCES: That all ordinance or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 4 - EFFECTIVE DATE: This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

PASSED AND APPROVED October 22, 2024.

	ROLL AYE	CALL NAY	VOTE ABSTAIN	ABSENT
_____ Susan Miller, Chairperson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
_____ Scott Belt	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
_____ Tim Wichman	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
_____ Brian Shea	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
_____ Jeff Jorgensen	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Attest: _____
Melvyn Houser, County Auditor
Pottawattamie County, Iowa



NOTICE OF PUBLIC HEARING PUBLISHED:	October 10, 2024
BOARD OF SUPERVISORS PUBLIC HEARING:	October 15, 2024
FIRST CONSIDERATION:	October 15, 2024
SECOND CONSIDERATION:	October 22, 2024
PUBLICATION:	October 31, 2024
RECORD:	November 1, 2024

Matt Wyant/Director, Planning and Development

Second Consideration of Ordinance No. 2024-07, an ordinance to amend Pottawattamie County, Iowa Zoning Ordinance, Chapter 8.045 Highway Commercial District; and to adopt Ordinance No. 2024-07 into law.

RECORDER'S COVER SHEET

Prepared by:

Pottawattamie County Office of Planning and Development
223 South 6th Street, Suite 4
Council Bluffs, IA 51501-4245
(712) 328-5792

Return Document to:

Pottawattamie County Office of Planning and Development
223 South 6th Street, Suite 4
Council Bluffs, IA 51501-4245
(712) 328-5792

Document Title:

Pottawattamie County
Ordinance #2024-07

**POTTAWATTAMIE COUNTY, IOWA
ORDINANCE NO. 2024-07**

AN ORDINANCE to amend Chapter 8, of Pottawattamie County, Iowa Zoning Ordinance:

BE IT ORDAINED BY THE BOARD OF SUPERVISORS OF POTTAWATTAMIE COUNTY, IOWA

SECTION 1 - REPEAL OF CONFLICTING ORDINANCES: All other Ordinances in conflict with the provisions of this Ordinance are hereby repealed to the extent necessary to give this Ordinance full force and effect.

SECTION 2 - AMENDMENTS: That the Pottawattamie County, Iowa, Code, be and the same is hereby amended by adding thereto the following new Sections, to be codified as Section 8.045.030:

.05 Commercial kennels and veterinary hospitals or clinics, provided that no such structure or exercising runway shall be located closer than two hundred (200) feet from any Class “R” District or platted residential subdivision or dwelling other than that of the lessee or owner of the site

.06 Commercial stables, riding academies and clubs.

SECTION 3 - AMENDMENTS: That the Pottawattamie County, Iowa, Code, be and the same is hereby amended by adding thereto the following new Sections, to be codified as Section 8.045.080:

.02 Any Permitted Conditional Use other than Commercial Kennels and veterinary hospitals and Commercial Stables – Minimum Lot Area 1.0 acre, Minimum Lot Width 80’, Minimum Lot Depth 100’, Maximum Lot Coverage 50%

.03 Commercial Kennels and veterinary hospitals – Minimum Lot Area 3.0 acres, Minimum Lot Width 300’, Minimum Lot Depth 300’, Maximum Lot Coverage 15%

.04 Commercial Stables – Minimum Lot Area 5.0 acres, Minimum Lot Width 300’, Minimum Lot Depth 300’, Maximum Lot Coverage 5%

SECTION 4 - SEVERABILITY: That should any section or provision of this Ordinance be declared by a court of competent jurisdiction to be invalid, that decision shall not effect that validity of the Ordinance as a whole or any part thereof, other than the part so declared to be invalid.

SECTION 5 - REPEAL OF CONFLICTING ORDINANCES: That all ordinance or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6 - EFFECTIVE DATE: This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

PASSED AND APPROVED October 24, 2024.

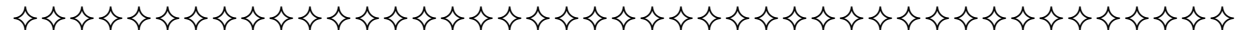
	ROLL CALL VOTE			
	AYE	NAY	ABSTAIN	ABSENT
_____ Susan Miller, Chairperson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
_____ Scott Belt	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Tim Wichman

Brian Shea

Jeff Jorgensen

Attest: _____
Melvyn Houser, County Auditor
Pottawattamie County, Iowa



NOTICE OF PUBLIC HEARING PUBLISHED:	October 10, 2024
BOARD OF SUPERVISORS PUBLIC HEARING:	October 15, 2024
FIRST CONSIDERATION:	October 15, 2024
SECOND CONSIDERATION:	October 22, 2024
PUBLICATION:	October 31, 2024
RECORD:	November 1, 2024

Matt Wyant/Director, Planning and Development

**Discussion and/or decision to approve Final Plat of
Stoneybrook East Phase 1, a subdivision situated in Lewis
Township; and to sign Planning and Zoning Resolution
No. 2024-07.**

RECORDER'S COVER SHEET

Prepared by:

Pottawattamie County Office of Planning and Development
227 South 6th Street
Council Bluffs, IA 51501
(712) 328-5792

Return Document to:

Pottawattamie County Office of Planning and Development
227 South 6th Street
Council Bluffs, IA 51501
(712) 328-5792

Document Title:

Pottawattamie County
Planning and Zoning Resolution #2024-07

**PLANNING AND ZONING
RESOLUTION NO. 2024-07**

WHEREAS, this Board had approved the preliminary plat of **Stoneybrook East Phase 1**, a residential subdivision situated in **Lewis Township**, by approval of Planning and Zoning Resolution No. **2023-01**, dated **August 29, 2023**; and

WHEREAS, the final plat and supporting documents required by Chapter 9.10 of the Pottawattamie County, Iowa, Code and Chapter 354, Code of Iowa, has been filed with this Board for its study and consideration under **Case #SUB-2023-01**; and

WHEREAS, this Board has examined the final plat and has found they are in substantial compliance with the approved preliminary plats; and

WHEREAS, after careful study, and due consideration this Board has determined that the final plat and supporting documents conform to the requirements of Chapter 9.10 of the Pottawattamie County, Iowa, Code and Chapter 354, Code of Iowa, and it has deemed it to be in the best interest of Pottawattamie County, Iowa, to approve the final plats.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF POTTAWATTAMIE COUNTY, IOWA: That the final plat of **Stoneybrook East Phase 1**, a residential subdivision in Pottawattamie County, Iowa, be, and the same is hereby approved as the final plat of said subdivision.

And that the Chairperson of the Board of Supervisors is hereby authorized to enter such approval upon said final plat.

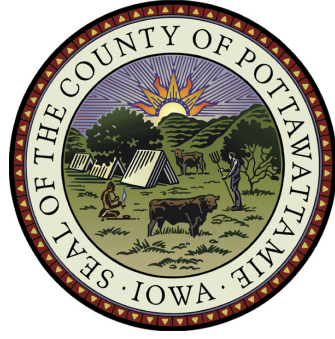
PASSED AND APPROVED October 22, 2024

	ROLL		CALL VOTE	
	AYE	NAY	ABSTAIN	ABSENT
_____ Susan Miller, Chairperson	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
_____ Scott Belt	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
_____ Tim Wichman	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
_____ Brian Shea	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
_____ Jeff Jorgensen	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Attest: _____
Melvyn Houser, County Auditor
Pottawattamie County, Iowa

RECORD: After Passage

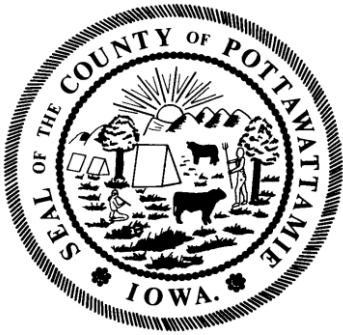
Melvyn Houser
POTTAWATTAMIE COUNTY AUDITOR
AND ELECTION COMMISSIONER



TO WHOM IT MAY CONCERN:

I, Melvyn Houser, County Auditor, Pottawattamie County, Iowa, do hereby certify that the attached is a true and accurate copy of Planning and Zoning Resolution #2024-07, adopted by the Pottawattamie County, Iowa, Board of Supervisors, in their approval of Stoneybrook East Phase 1, on October 22, 2024.

Dated this 22nd day of October 2024



Melvyn Houser, County Auditor
Pottawattamie County, Iowa

FINAL PLAT
STONEBROOK EAST PHASE 1
 PART OF THE SE1/4 2-74-43 POTTAWATTAMIE COUNTY, IOWA

APPROVED BY: *[Signature]*
 DEVELOPMENT DIRECTOR
 DATE: 10-11-24

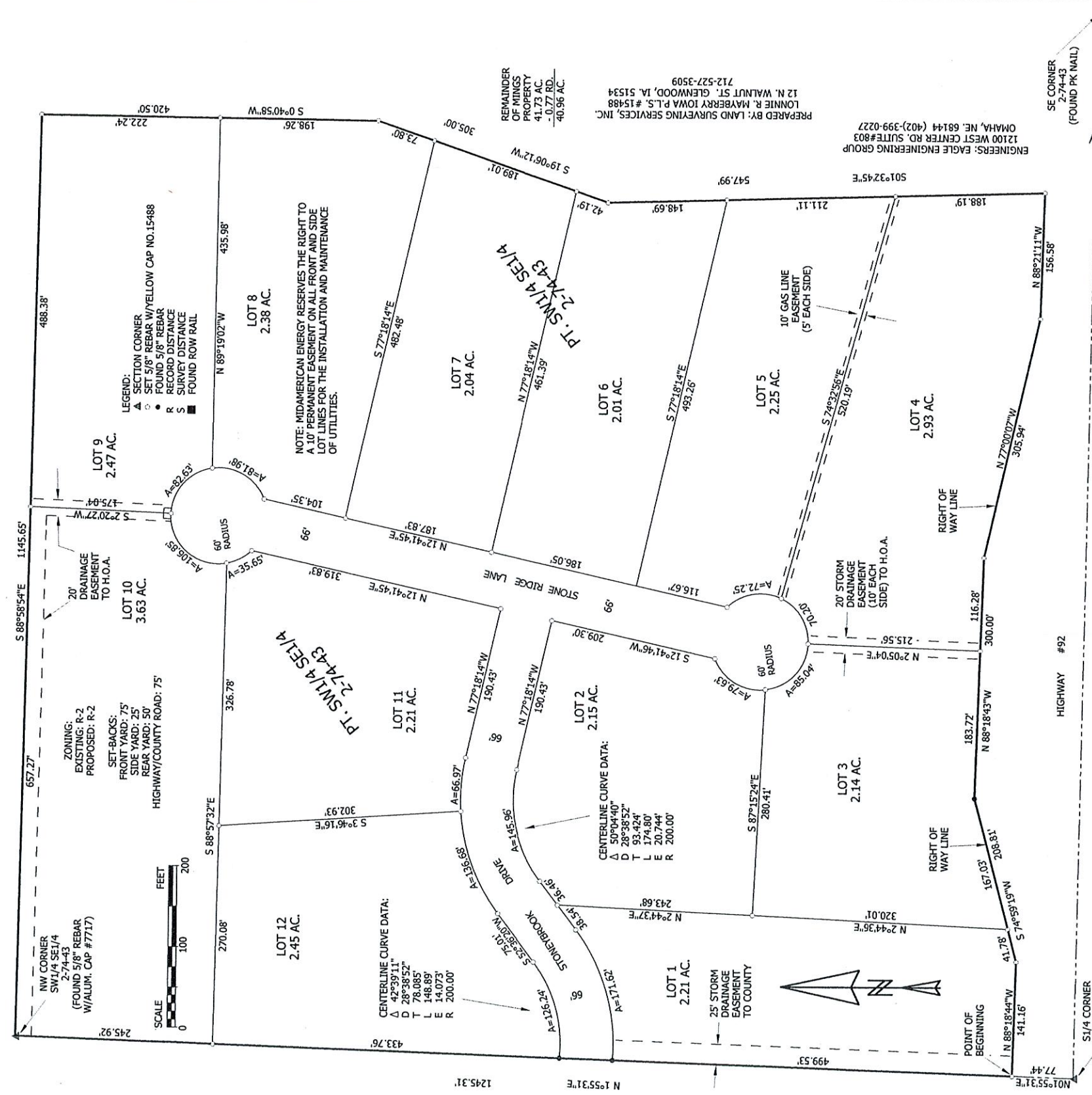
COUNTY ENGINEER
 DATE: 10/11/24

I, THE TREASURER OF POTTAWATTAMIE COUNTY, IOWA, HEREBY CERTIFY THAT THE PROPERTY INCLUDED IN STONEYBROOK EAST PHASE 1 IS FREE FROM CERTIFIED TAXES AND CERTIFIED SPECIAL ASSESSMENTS.

TREASURER OF POTTAWATTAMIE COUNTY, IOWA
 LEA A. VOSS
 DATE: 10/15/24

COUNTY BOARD OF SUPERVISORS DATE: _____
 ATTEST: COUNTY AUDITOR DATE: _____

OWNER:
 ROBERT J. & JANI S. MINGS
 15040 STONEGATE LANE
 COUNCIL BLUFFS, IOWA 51503



DEDICATION:
 KNOW ALL PERSONS BY THESE PRESENTS THAT ROBERT J. MINGS AND JANI S. MINGS BEING SOLE OWNERS OF THE PROPERTY DESCRIBED WITHIN THE LEGAL DESCRIPTION AND EMBRACED WITHIN THIS PLAT, HAS CAUSED SAID PROPERTY TO BE SUBDIVIDED AS LOTS 1 THROUGH 12, INCLUSIVE AND PUBLIC STREET RIGHT OF WAY FOR STONEYBROOK DRIVE AND STONE RIDGE LANE, SAID PROPERTY TO BE KNOWN AS STONEYBROOK EAST PHASE 1. WE HEREBY DEDICATE TO THE PUBLIC THE RIGHT OF WAY FOR STONEYBROOK DRIVE AND STONE RIDGE LANE 2.29 ACRES, MORE OR LESS, AS SHOWN IN THE DRAWING.

ROBERT J. MINGS AND JANI S. MINGS DO HEREBY DEDICATE A 10 FEET WIDE EASEMENT ALONG ALL FRONT AND SIDE LOT LINES FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES.

ROBERT J. MINGS AND JANI S. MINGS DO HEREBY DEDICATE TO THE PUBLIC PERMANENT DRAINAGE EASEMENT AS SHOWN ON THIS PLAT.

WE HEREBY CERTIFY THAT WE WILL MEET ALL EQUAL OPPORTUNITY AND FAIR MARKETING OBJECTIVES CONSISTENT WITH FEDERAL, STATE, AND LOCAL GUIDELINES. WE HEREBY CERTIFY THAT THE FOLLOWING DOCUMENTS WILL BE RECORDED WITH THE POTTAWATTAMIE COUNTY RECORDER CONTEMPORANEOUSLY WITH THE FILING OF THE FINAL PLAT:
 A. ALL PRIVATE RESTRICTIONS AND/OR COVENANTS, IF ANY, WHICH WILL BE A PART OF THE SUBJECT DEVELOPMENT.

LEGAL DESCRIPTION:
 A PARCEL OF LAND LOCATED IN PART OF THE SW1/4 SE1/4 OF SECTION 2, TOWNSHIP 74 NORTH, RANGE 43 WEST OF THE 5TH PRINCIPAL MERIDIAN, POTTAWATTAMIE COUNTY, IOWA, SAID PARCEL BEING MORE FULLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SW1/4 CORNER OF SAID SECTION 2; THENCE N01°55'31"E ALONG THE WEST LINE OF SAID SW1/4 SE1/4 A DISTANCE OF 77.44 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF HIGHWAY #92 AND THE POINT OF BEGINNING; THENCE CONTINUING N01°55'31"E ALONG SAID WEST LINE A DISTANCE OF 1245.31 FEET TO THE NORTHWEST CORNER OF SAID SW1/4 SE1/4; THENCE S88°58'59"E ALONG THE NORTH LINE OF SAID SW1/4 SE1/4 A DISTANCE OF 145.65 FEET; THENCE S00°40'58"W A DISTANCE OF 420.50 FEET; THENCE S19°06'21"W A DISTANCE OF 305.00 FEET; THENCE S01°32'45"E A DISTANCE OF 547.99 FEET TO SAID NORTHERLY RIGHT OF WAY LINE; THENCE N88°18'43"W ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 156.58 FEET; THENCE N77°00'07"W ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 305.94 FEET; THENCE N88°18'43"W ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 300.00 FEET; THENCE S74°59'19"W ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 208.81 FEET; THENCE N88°18'44"W ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 141.16 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 31.16 ACRES, MORE OR LESS, (INCLUDING 2.29 ACRES FOR STONEYBROOK DRIVE AND STONE RIDGE LANE RIGHT OF WAY), AND IS SUBJECT TO ALL EXISTING EASEMENTS OF RECORD NOT SHOWN ON THIS PLAT.
 NOTE: THE WEST LINE OF THE SW1/4 SE1/4 OF SAID SECTION 2 IS ASSUMED TO BEAR N01°55'31"E FOR THIS DESCRIPTION.

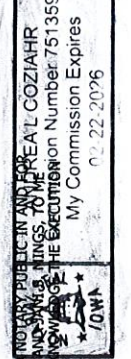
IN WITNESS WHEREOF, I DO HEREBY RATIFY AND APPROVE OF THE DISPOSITION OF ROBERT J. MINGS AND JANI S. MINGS PROPERTY AS CONTAINED HEREIN ON THIS DAY OF October, 2024, BEFORE ME, NOTARY PUBLIC IN AND FOR THE STATE OF IOWA, PERSONALLY APPEARED ROBERT J. MINGS AND JANI S. MINGS, TO ME REAL COZIAHR PERSONALLY KNOWN, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE THE EXECUTION NUMBER 751359 OF THIS INSTRUMENT TO BE THEIR VOLUNTARY ACT AND DEED.

BY: *[Signature]*
 ROBERT J. MINGS
 JANI S. MINGS

STATE OF IOWA) SS.
 COUNTY OF POTTAWATTAMIE)

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

[Signature]
 Linnie R. Mayberry
 License Number: 15488
 My license renewal date is December 31, 2025.
 Sheets covered by this seal: Sheet 1 of 1.
 Date of Field Survey: AUGUST, 2024.



FINAL PLAT-STONEYBROOK EAST PHASE 1
 PT. SW1/4 SE1/4 2-74-43 POTTAWATTAMIE COUNTY, IOWA
 SCALE: AS SHOWN DATE: OCTOBER 2024 DRAWN BY: LRM
 REQUESTED BY: EAGLE ENGINEERING
 12100 WEST CENTER ROAD SUITE #803
 OMAHA, NE 68144
 DRAWING NO. STONEY-ZAK

Matt Wyant/Director, Planning and Development

Discussion and/or decision to approve and authorize Board to sign Resolution No. 60-2024; Resolution to add roadway names of Stoneybrook Drive and Stone Ridge Lane to the Rural Address Map.

RESOLUTION NO. 60-2024

WHEREAS, Pottawattamie County adopted a Uniform Rural Address System Ordinance, which became effective March 17, 1993; and

WHEREAS, whereas Section 7.30.040 of said Ordinance stipulates that “Updates (to the Rural Address Map) to include new roadway names shall require approval through the Board of Supervisors.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF POTTAWATTAMIE COUNTY, IOWA that Rural Address Map be updated to include the following roadway names:

Established through	Township	Street Name	Address Range
Stoneybrook East Phase 1	Lewis	Stoneybrook Drive	22400-22577
Stoneybrook East Phase 1	Lewis	Stone Ridge Lane	15112-15196

PASSED AND APPROVED October 22, 2024.

	ROLL CALL VOTE			
	AYE	NAY	ABSTAIN	ABSENT
_____ Susan Miller, Chairperson	○	○	○	○
_____ Scott Belt	○	○	○	○
_____ Tim Wichman	○	○	○	○
_____ Brian Shea	○	○	○	○
_____ Jeff Jorgensen	○	○	○	○

Attest: _____
Melvyn Houser, County Auditor
Pottawattamie County, Iowa

RECORD: After Passage

TO: Board of Supervisors
FROM: Matt Wyant
DATE: October 16, 2024
RE: Resolution No. 60 -2024

Information: Pottawattamie County adopted a Uniform Rural Address System Ordinance, which became effective March 17, 1993. Section 7.30.040 of said Ordinance stipulates that “Updates (to the Rural Address Map) to include new roadway names shall require approval through the Board of Supervisors.

Two new roads were established through Stoneybrook East Phase 1 in Lewis Township and requires approval through the Board of Supervisors via a Resolution.



Jason Slack/Director, Buildings and Grounds

**Bid opening for the Courthouse North Parking Lot. No
decision.**



PROJECT: **Annex Parking Lot
Pottawattamie County Courthouse**

BID DATE: **October 22, 2024 at 10:00 a.m.**

DATE OF ADDENDUM: **October 18, 2024**

To: **ALL PLANHOLDERS AND BIDDERS**

The Contract Documents have been revised for the above referenced project and are modified as described below. This Addendum No 1. Consists of the following parts:

1. This cover page
2. Addendum No. 1, revised sheets C.01, D.02, L.01, and L.02.
3. Addendum No. 1, Geotechnical Report by TD2 dates October 16, 2024.

All bidders shall acknowledge receipt of this Addendum No. 1 on page 1 of the Bid form.

	<p>I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.</p>
	<p><u>Scott D Reelfs</u> <u>10/18/24</u> SCOTT D. REELFS DATE</p>
	<p>My license renewal date is December 31, 2024 Pages or sheets covered by this seal: <u>THIS SHEET, C.01, D.02, L.01 AND L.02</u></p>

GENERAL NOTES

- MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE 2024 EDITION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL HAVE ALL UTILITIES MARKED BY UTILIZING THE IOWA ONE-CALL SYSTEM. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR OR ENGINEER FOR THE FAILURE TO SHOW ANY BURIED SERVICE AND/OR UTILITY LINES EVEN THOUGH THEY MAY EXIST. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION.

THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITY FACILITIES LOCATED WITHIN THE CONSTRUCTION AREA TO AVOID DAMAGE IN ACCORDANCE WITH SECTION 480.4, CODE OF IOWA. DAMAGE TO UTILITIES DUE TO THE CONTRACTOR'S ACTIONS SHALL BE REPAIRED OR REPLACED WITHOUT COST TO THE OWNER OR ENGINEER.
- ALL QUESTIONS FOR WORK SHOWN IN THIS PLAN SET SHALL BE DIRECTED TO THE CIVIL ENGINEER. ANY DISCREPANCIES OR CHANGED FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER SO THAT THE APPROPRIATE ADJUSTMENTS MAY BE MADE.
- CONTRACTOR SHALL OBTAIN ANY AND ALL REQUIRED PERMITS.
- THE MINIMUM ALLOWABLE GRADE TO MAINTAIN DRAINAGE IS 1.0%. CONTRACTOR SHALL MAINTAIN MINIMUM OF 1% SLOPE IN ALL PAVING. ANY AREAS THAT HAVE SURFACE DEVIATIONS THAT DOES NOT ALLOW WATER TO SURFACE DRAIN AWAY SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL FOLLOW ALL CITY OF COUNCIL BLUFFS STANDARDS AND REQUIREMENTS.
- ALL NEW PAVEMENT SHALL BE BACKFILLED WITH CLEAN SOIL.
- ALL DISTURBED SOIL NOT BEING PAVED SHALL BE BACKFILLED WITH TOPSOIL AND SODDED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYING OUT THE PROPOSED CONSTRUCTION AS SHOWN IN THE PLANS.
- THE CONTRACTOR SHALL TAKE STEPS TO CONTROL SOIL EROSION AND FUGITIVE DUST DURING CONSTRUCTION. IF NECESSARY, HAY BALES, CHECK DAMS, SEDIMENT TRAPS OR SILT FENCE SHALL BE USED TO RETAIN SILT AND PREVENT SILT FROM ENTERING THE STORM DRAINAGE SYSTEM.
- ALL CONCRETE TRUCKS SHALL RETURN TO THE PLANT TO WASH OUT UNLESS THE CONTRACTOR PROVIDES A CONCRETE WASH OUT AREA AS DESCRIBED IN THE PLANS OR AS APPROVED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND CLEAN UP OF THE WASH OUT LOCATION.
- ALL SIDEWALKS, SHARED USE PATHS, PEDESTRIAN CURB RAMPS, AND DRIVEWAYS SHALL BE CONSTRUCTED TO MEET THE MINIMUM REQUIREMENTS OF DIVISION 7 SECTION 7030 OF THE SUDAS STANDARD SPECIFICATIONS. ALL WORK COMPLETED THAT DOES NOT MEET THESE REQUIREMENTS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO COST TO THE COUNTY.
- CONCRETE ADMIXTURES SHALL NOT BE USED UNLESS APPROVED BY THE ENGINEER AND SUBMITTED AS PART OF THE SHOP DRAWING SUBMITTAL FOR THE SPECIFIED MIX DESIGN AS SHOWN IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL KEEP SANITARY SEWER AND STORM SEWER LINES AND STRUCTURES CLEAN AND FREE OF DEBRIS THAT IS A RESULT OF CONSTRUCTION OPERATIONS. ANY CLEANING AND REMOVAL OF DEBRIS THAT ENTERS AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE COMPLETED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAKE ACCESS AVAILABLE TO ADJACENT PROPERTIES IN CASE OF EMERGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER (712-890-5296) AND NON-EMERGENCY 911 (712-328-5737), 24 HOURS PRIOR TO CLOSING AND/OR OPENING ANY ROADS TO TRAFFIC. THE CONTRACTOR SHALL ADEQUATELY BARRICADE CLOSED ROADS DURING CONSTRUCTION TO ENSURE PUBLIC SAFETY AND PROTECT NEW PAVEMENT FROM DAMAGE. ALL TRAFFIC CONTROL SHALL BE IN COMPLIANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- ALL SOLID WASTE, AND EXCESS EXCAVATION FROM THE REMOVAL OR INSTALLATION OF PAVEMENT, STORM, AND SANITARY SEWER SYSTEMS, SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS. ALL REMOVED ITEMS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF SITE AND SHALL NOT BE INCORPORATED INTO THE WORK.
- THE CONTRACTOR SHALL MAINTAIN PEDESTRIAN PATHWAYS OPEN AND PASSABLE DURING CONSTRUCTION.
- REFER TO GEOTECHNICAL REPORT DATED OCTOBER 16, 2024 BY TD2. ALL RECOMMENDATIONS AND PROCEDURES DESCRIBED IN THE GEOTECHNICAL REPORT SHALL BE FOLLOWED BY THE CONTRACTOR.

ESTIMATED QUANTITIES

NOTE: ESTIMATED QUANTITIES ARE PROVIDED AS A CONVENIENCE ONLY TO ASSIST THE CONTRACTOR IN PREPARATION OF THE BID. THE CONTRACTOR SHALL VERIFY THE ACTUAL QUANTITIES NEEDED FOR THE CONSTRUCTION OF THE IMPROVEMENTS AS DETAILED IN THESE PLANS. THE CONTRACTOR WILL NOT BE PAID MORE FOR OVERRUNS OF THE ESTIMATED QUANTITIES FOR THE WORK SHOWN IN THESE PLANS UNLESS A PLAN REVISION AND CHANGE ORDER IS ISSUED CHANGING THE WORK SHOWN IN THESE DRAWINGS. THE PROJECT IS BEING BID AS A LUMP SUM. CONTRACTOR SHALL INCLUDE ALL COSTS IN THEIR LUMP SUM BID TO COMPLETE THE CONSTRUCTION AS SHOWN IN THESE PLANS WHETHER AN ESTIMATED QUANTITY IS CALLED OUT OR NOT.

ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNITS
1	REMOVAL OF SIDEWALK	107	SY
2	REMOVAL OF CONCRETE	76	SY
3	FULL DEPTH SAWCUTTING	266	LF
4	TRAFFIC CONTROL AND SAFETY FENCING	1	LS
5	EXCAVATION AND GRADING	1	LS
6	SUBGRADE PREPARATION	1,608	SY
7	7" PCC PAVEMENT	1,575	SY
8	4" PCC SIDEWALK WITH HANDICAP RAMP	13	SY
9	PAINTED PAVEMENT MARKINGS	1	LS
10	PAINTED SYMBOLS	4	EA
11	LIGHT POLES	1	EA
12	1 1/4" ELECTRICAL CONDUIT	432	LF
13	CAT 6 CABLE	230	LF
14	ELECTRICAL SERVICE	230	LF
15	SECURITY CAMERA	1	EA
16	6' CHAIN LINK FENCING	100	LF
17	DOUBLE SWING GATES	2	EA
18	HANDICAP SIGNS	4	EA
19	SODDING	1,850	SF
20	TESTING	1	LS
21	STAKING AND LAYOUT	1	LS
22	EROSION AND DUST CONTROL	1	LS

ESTIMATE REFERENCE NOTES

- REMOVAL OF SIDEWALK** - ALL EXISTING SIDEWALK WITHIN THE REMOVAL LIMITS SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR. REMOVAL LIMITS SHALL BE FULL DEPTH SAWCUT.
- REMOVAL OF CONCRETE** - ALL EXISTING PAVEMENT WITHIN THE REMOVAL LIMITS SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR. REMOVAL LIMITS SHALL BE FULL DEPTH SAWCUT.
- FULL DEPTH SAWCUTTING** - ALL REMOVAL LIMITS SHALL BE FULL DEPTH SAWCUT TO PROVIDE A UNIFORM SURFACE TO CONNECT TO.
- TRAFFIC CONTROL AND SAFETY FENCING** - CONTRACTOR SHALL INCLUDE ALL NECESSARY TRAFFIC CONTROL AND SITE SAFETY FENCING REQUIRED TO COMPLETE THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BARRICADE AND PROTECT THE NEW CONSTRUCTION FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND MAINTAIN SIDEWALK CLOSURE AND ALTERNATE ROUTE SIGNAGE FOR SIDEWALK AND ACCESSIBLE RAMP CONSTRUCTION WHEN THAT WORK OCCURS. SIDEWALK CLOSURE PLAN SHALL BE SUBMITTED AS A SHOP DRAWING FOR APPROVAL PRIOR TO CONSTRUCTION.
- EXCAVATION AND GRADING** - ALL WASTE SOIL NOT UTILIZED ON-SITE FOR BACKFILL SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR. 9" OF TOPSOIL SHALL BE INSTALLED IN ALL DISTURBED AREAS THAT WILL BE SODDED.
- SUBGRADE PREPARATION** - TOP 24" (MINIMUM) OF SUBGRADE SHALL BE SCARIFIED AND COMPACTED TO ACHIEVE 90% STANDARD PROCTOR MAXIMUM DENSITY AT -3% TO +5% OF OPTIMUM MOISTURE CONTENT. SUBGRADE PREPARATION LIMITS SHALL EXTEND 1' BEYOND PAVEMENT LIMITS OR 3' IF A SLIPFORM PAVER IS USED. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS AND PROOFROLLING PROCEDURES.
- 7" PCC PAVEMENT** - ALL PAVEMENT SHALL BE THE CITY OF COUNCIL BLUFFS MIX CV-SUD-C15. TO PROTECT THE PREPARED SUBGRADE FROM RUTTING, CONCRETE TRUCKS SHALL NOT DRIVE ON THE PREPARED SUBGRADE. PAVEMENT JOINTS SHALL BE SEALED AS PART OF A TWO-PART PROCESS. FOLLOWING SAW CUTTING AND CLEANING, A PENETRATING CONCRETE SEALER (SILANE, SILICATE, OR SILICONATE BASED) SHALL BE SPRAY APPLIED TO THE JOINT EXTENDING OUTWARDS A MINIMUM OF 8 INCHES EITHER SIDE OF THE SAWCUT FACE. A HOT JOINT SEALER CAN THEN BE USED TO FILL THE SAWCUT. **ALL CONCRETE SURFACES SHALL BE SEALED WITH A PENETRATING CONCRETE SEALER (SILANE, SILICATE, OR SILICONATE BASED).** CONCRETE SEALANT SHALL MEET THE REQUIREMENTS OF IOWA DOT MATERIALS 1.M. 491.12, APPENDIX C. SEALANT TO BE USED SHALL BE COMPATIBLE WITH THE CURING COMPOUND USED. MIX DESIGN, CONCRETE ADDITIVES, CURING COMPOUND AND SEALANT SHALL BE SUBMITTED AS SHOP DRAWINGS FOR APPROVAL BY THE ENGINEER.

THE LUMP SUM CONTRACT PRICE SHALL INCLUDE COLD WEATHER PROTECTION OF CONCRETE (IF REQUIRED). THERE WILL BE NO ADDITIONAL COMPENSATION FOR COLD WEATHER PROTECTION OF CONCRETE EVEN THOUGH THIS MAY BE REQUIRED.
- 4" PCC SIDEWALK WITH HANDICAP RAMP - PAVEMENT** - ALL PAVEMENT SHALL BE THE CITY OF COUNCIL BLUFFS MIX CV-SUD-C15. PAVEMENT JOINTS SHALL BE SEALED AS PART OF A TWO-PART PROCESS. FOLLOWING SAW CUTTING AND CLEANING, A PENETRATING CONCRETE SEALER (SILANE, SILICATE, OR SILICONATE BASED) SHALL BE SPRAY APPLIED TO THE JOINT EXTENDING OUTWARDS A MINIMUM OF 8 INCHES EITHER SIDE OF THE SAWCUT FACE. A HOT JOINT SEALER CAN THEN BE USED TO FILL THE SAWCUT. **ALL CONCRETE SURFACES SHALL BE SEALED WITH A PENETRATING CONCRETE SEALER (SILANE, SILICATE, OR SILICONATE BASED).** CONCRETE SEALANT SHALL MEET THE REQUIREMENTS OF IOWA DOT MATERIALS 1.M. 491.12, APPENDIX C. SEALANT TO BE USED SHALL BE COMPATIBLE WITH THE CURING COMPOUND USED. MIX DESIGN, CONCRETE ADDITIVES, CURING COMPOUND AND SEALANT SHALL BE SUBMITTED AS SHOP DRAWINGS FOR APPROVAL BY THE ENGINEER.

CONTRACTOR SHALL PAY CLOSE ATTENTION TO SIDEWALK RAMP GRADES TO BE CERTAIN THAT ALL REQUIREMENTS OF SUDAS DETAILS AND SPECIFICATIONS ARE MET. CONTRACTOR SHALL REVIEW PUBLIC SIDEWALK LAYOUT WITH CITY INSPECTOR PRIOR TO POURING. ANY SIDEWALK PLACED THAT DOES NOT MEET THE GRADES AND DETAILS SHOWN IN SUDAS STANDARD DETAILS OR SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.

THE LUMP SUM CONTRACT PRICE SHALL INCLUDE COLD WEATHER PROTECTION OF CONCRETE (IF REQUIRED). THERE WILL BE NO ADDITIONAL COMPENSATION FOR COLD WEATHER PROTECTION OF CONCRETE EVEN THOUGH THIS MAY BE REQUIRED.
- PAINTED PAVEMENT MARKINGS** - PAVEMENT MARKINGS TO BE PLACED AFTER CONCRETE SEALANT HAS CURED. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
- PAINTED SYMBOLS** - PAVEMENT MARKINGS TO BE PLACED AFTER CONCRETE SEALANT HAS CURED. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
- LIGHT POLE** - LIGHT POLE AND FIXTURE SHALL BE AS DESCRIBED ON SHEET D.02. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL. LIGHT POLE SHALL HAVE ACCOMODATIONS FOR FUTURE MOUNTING OF SECURITY CAMERA BY THE OWNER.

LIGHT POLE FOOTING TO BE INSTALLED AS DETAILED ON SHEET B.05.
- 1/4" ELECTRICAL CONDUIT** - AS SHOWN ON SHEET D.02.
- CAT 6 CABLE** - AS SHOWN ON SHEET D.02. CABLE TO BE SUBMITTED FOR APPROVAL AS A SHOP DRAWING.
- ELECTRICAL SERVICE** - THIS ITEM SHALL INCLUDE ALL WORK REQUIRED TO PROVIDE POWER TO THE NEW LIGHT POLE.
- SECURITY CAMERA** - CONTRACTOR TO PROVIDE THE SECURITY CAMERA NOTED ON PLAN SHEET D.02 FOR INSTALLATION AND PROGRAMMING BY OTHERS.
- 6' CHAIN LINK FENCING** - CHAIN LINK FENCE TO BE INSTALLED AS DETAILED ON SHEET D.02. FENCE SHALL BE 6' HIGH WITH PRIVACY SLATS. DRAWING AND DETAILS OF FENCING SHALL BE SUBMITTED AS A SHOP DRAWING FOR APPROVAL.
- DOUBLE SWING GATES** - FENCED AREA SHALL HAVE A 16' OPENING DOUBLE SWING GATE WITH PRIVACY SLATS AND DROP ROD AND DROP ROD CATCH ON EACH END OF THE ENCLOSURE. DRAWINGS AND DETAILS OF GATES SHALL BE SUBMITTED AS A SHOP DRAWING FOR APPROVAL.
- HANDICAP SIGNS** - 4 VAN ACCESSIBLE HANDICAP SIGNS THAT MEET SUDAS SPECIFICATIONS SHALL BE INSTALLED.
- SODDING** - ITEM TO BE USED AT ALL DISTURBED LOCATIONS.
- TESTING** - CONTRACTOR SHALL ENGAGE THE SERVICES OF A CERTIFIED TESTING LAB TO PERFORM CONCRETE TESTING AND SUBGRADE DENSITY TESTING INCLUDING TAKING A PROCTOR SAMPLE TO DETERMINE OPTIMUM MOISTURE CONTENT. SUBGRADE DENSITY TESTING SHALL BE AT A MINIMUM RATE OF ONE TEST PER 5,000 SQUARE FEET. UTILITY BACKFILL SHALL BE TESTED AT A FREQUENCY OF 50' INTERVALS. PLASTIC CONCRETE SHALL BE TESTED FOR AIR, SLUMP AND TEMPERATURE AT A RATE OF 1 TEST PER 100 CY OR A MINIMUM OF 1 TEST PER DAY. COMPRESSIVE STRENGTH CYLINDERS SHALL BE CAST AT A RATE OF A SET OF 4 CYLINDERS (ONE 7 DAY, TWO 28 DAY AND ONE RESERVE) PER 200 CY. IF THE CONTRACTOR DESIRES TO OBTAIN ADDITIONAL CYLINDERS FOR EARLY BREAKING, THOSE SHALL BE IN ADDITION TO THE MINIMUM NUMBER REQUIRED. IF THICKNESS MEASUREMENTS TAKEN BY THE CONTRACTOR ARE OBSERVED BY THE OWNER OR ENGINEER, THEN CONCRETE CORING FOR THICKNESS WILL NOT BE REQUIRED.
- STAKING AND LAYOUT** - CONTRACTOR SHALL LAY OUT THE CONSTRUCTION AS DIMENSIONED ON THE PLAN SHEETS. THE ASSUMED VERTICAL DATUM AND TWO BENCHMARKS ARE SHOWN ON SHEET L.01. ANY CHANGES FROM THE DIMENSIONS SHOWN ON SHEET L.01 AND D.02 SHALL BE REVIEWED WITH THE ENGINEER AND OWNER PRIOR TO CONSTRUCTION.
- EROSION AND DUST CONTROL** - CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL AS NECESSARY TO PREVENT SILT FROM LEAVING THE SITE. CONTRACTOR SHALL PROVIDE WATER AS NECESSARY TO CONTROL DUST AT THE SITE. CONTRACTOR SHALL CLEAN VEHICLES LEAVING THE SITE TO PREVENT TRACKING OF MUD ON LOCAL STREETS. CONTRACTOR SHALL CLEAN STREETS AND SIDEWALK ON A REGULAR BASIS AS REQUIRED TO KEEP SILT AND MUD FROM ENTERING THE LOCAL STORM SEWER SYSTEM.

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Revisions

No.	Revision/Issue	Date
1	ADDENDUM #1 - CHANGE LAYOUT DIMENSIONS AND QUANTITIES	10/18/24

Firm Name and Address



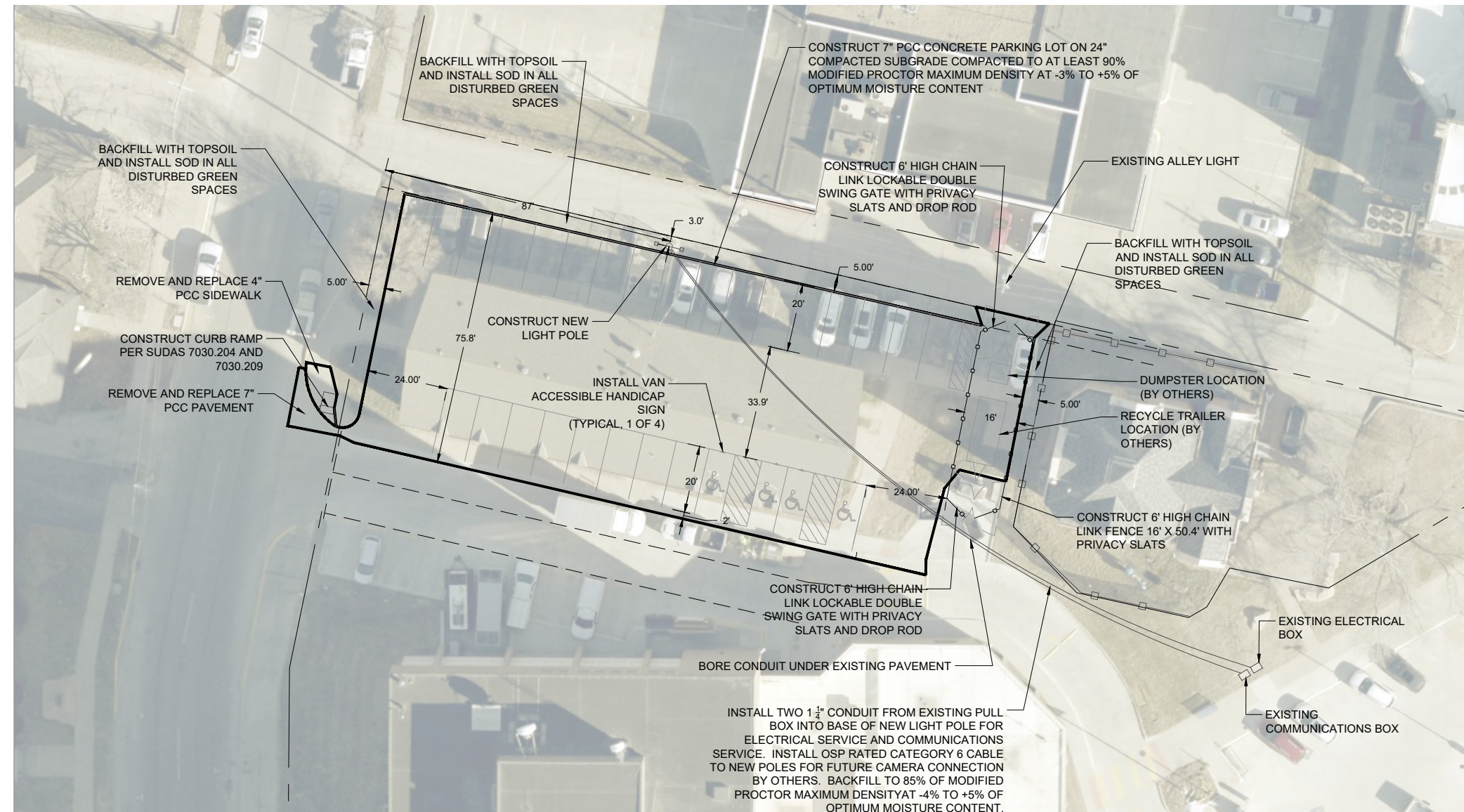
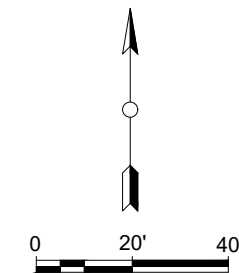
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Project Name and Address

ANNEX PARKING LOT
POTT. COUNTY COURTHOUSE
COUNCIL BLUFFS, IOWA
PROJECT # 2404

Sheet	GENERAL NOTES	Sheet
Date	9/27/24	C.01
Project No.	2404	

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LIGHTING NOTES

1. LIGHT POLE SHALL MATCH THE EXISTING POLES IN THE COURTHOUSE EAST PARKING LOT. THEY ARE 25 FT SQUARE STRAIGHT POLES, TWO HEADS AT 180 DEGREES WITH VIBRATION DAMPENERS, DARK BRONZE FINISH, MANUFACTURED BY LITHONIA, CATALOG # SSS-25-DM28AS-VD. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
2. FIXTURES SHALL MATCH THE EXISTING FIXTURES IN THE COURTHOUSE EAST PARKING LOT. THEY ARE LED AREA LIGHTS, TYPE 3 DISTRIBUTION, LOW/HIGH, MOTION/AMBIENT SENSOR, DARK BRONZE FINISH, 277 VOLT, LED, 11988 LUMENS, 3000 COLOR TEMP, 102 WATTS MANUFACTURED BY LITHONIA, CATALOG # DSX1-LED-P3-30K-80CRI-T3M-277-SPA-PIR-DDBXD. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
3. CONTRACTOR SHALL SUPPLY ONE SECURITY CAMERA WISENET MODEL PNM-9322VQP TO THE COUNTY. THE COUNTY WILL INSTALL THE CAMERA ON THE LIGHT POLE AND COORDINATE PROGRAMMING WITH THEIR SECURITY VENDOR.

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<small>Revisions</small>		
No.	Revision/Issue	Date
1	ADDENDUM #1 - CHANGE LAYOUT AND DIMENSIONS	10/18/24

Firm Name and Address

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 Civil Engineering Solutions

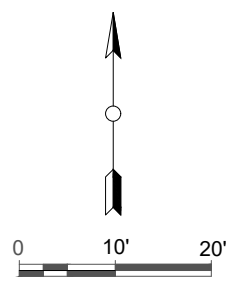
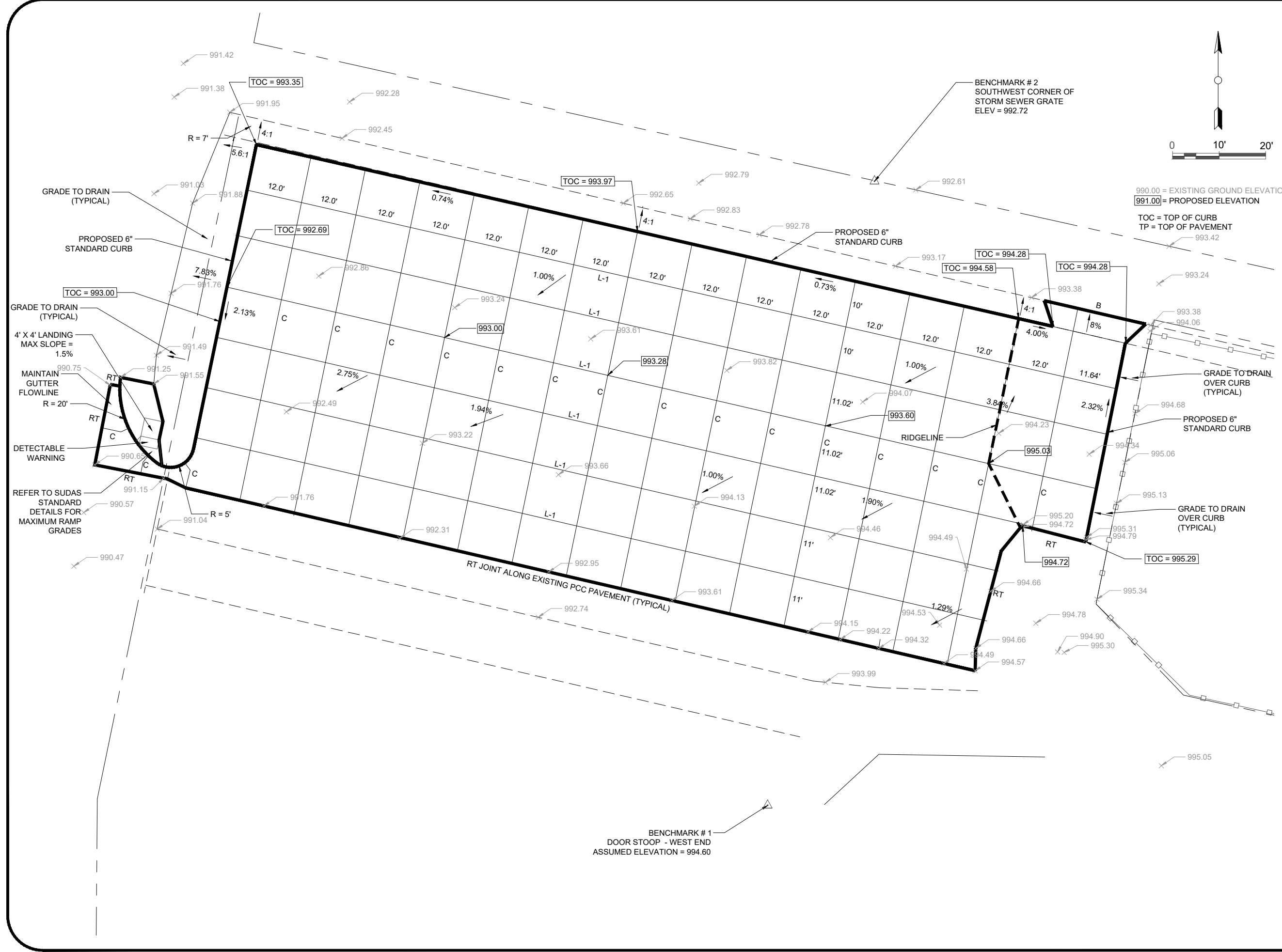
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Project Name and Address

ANNEX PARKING LOT
 POTT. COUNTY COURTHOUSE
 COUNCIL BLUFFS, IOWA
 PROJECT # 2404

<small>Sheet</small>	SITE PLAN	<small>Sheet</small>	D.02
<small>Date</small>	9/27/24		
<small>Project No.</small>	2404		

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Revisions

No.	Revision/Issue	Date
1	ADDENDUM #1 - CHANGE LAYOUT AND DIMENSIONS	10/18/24

Firm Name and Address

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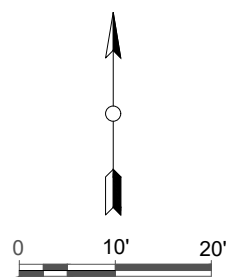
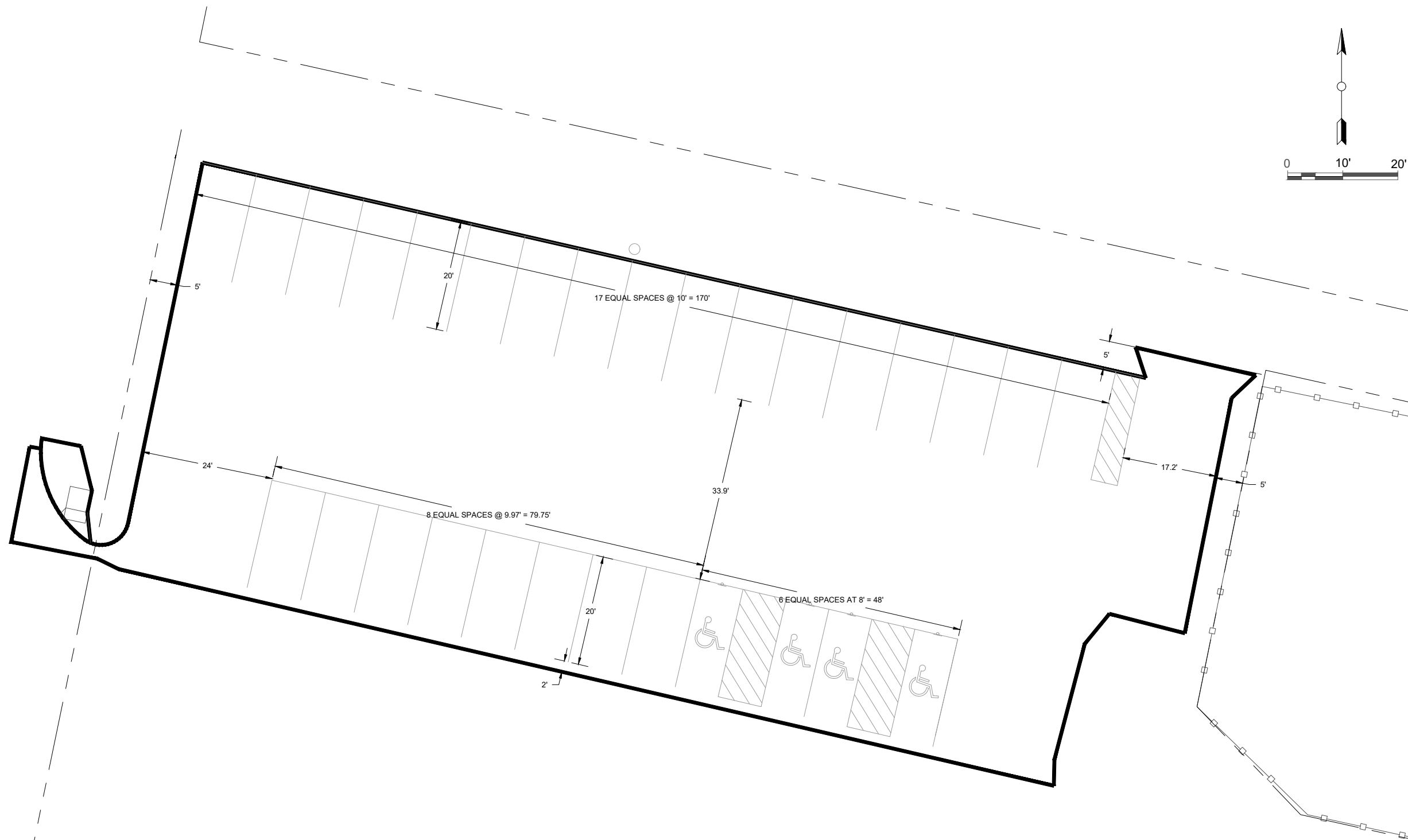
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ANNEX PARKING LOT
 POTT. COUNTY COURTHOUSE
 COUNCIL BLUFFS, IOWA
 PROJECT # 2404

Sheet	GEOMETRICS	Sheet	L.01
Date	9/27/24	Project No.	
		2404	

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Revisions

No.	Revision/Issue	Date
1	ADDENDUM #1 - CHANGE LAYOUT AND DIMENSIONS	10/18/24

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Project Name and Address

ANNEX PARKING LOT
 POTT. COUNTY COURTHOUSE
 COUNCIL BLUFFS, IOWA
 PROJECT # 2404

Sheet	PVMNT MRKNGS	Sheet	L.02
Date	9/27/24	Project No.	
Project No.	2404		

October 16, 2024

Mr. Jason Slack
Buildings & Grounds Pottawattamie County
227 South 6th Street
Council Bluffs, Iowa 51501

RE: Report of Geotechnical Exploration
Parking Lot Addition
Lots 9 & 10, Bayless First Addition
223 South 6th Street
Council Bluffs, Iowa
TD2 Job No. 2388-189

Mr. Slack:

This letter will serve as the Report of Geotechnical Exploration performed at the above noted address based on our written agreement with you. This investigation was made to determine soil conditions at the proposed parking lot addition at the noted address. This report summarizes the soil conditions and presents geotechnical recommendations for the construction based on those conditions and our experience.

The proposed project includes the construction of a new Portland cement concrete parking lot for additional off-street parking for Pottawattamie County at the 223 South 6th Street facility. Occasional heavy truck traffic is expected on the new parking lot. However, a specific traffic distribution and count have not been provided for use in our analysis.

For this investigation, three (3) soil borings were advanced to investigate the soil conditions for the parking lot addition. The borings are identified as B-1, B-2, and B-3. Borings B-1 and B-3 were advanced to a depth of 10 feet below the current ground surface. Boring B-2 was advanced to a depth of 15 feet below the current ground surface. A Boring Location Plan is attached. The borings were located in a former building footprint. This building has been recently removed and the area rough graded. It is understood that the former building did not have a basement area and was brick masonry construction.

The current site surface is generally exposed soil, from the demolition operations. The elevation of the ground surface at the boring locations were measured using GPS with RTK correction and is reported on the Boring Logs.

A brief review of historical aerial photographs and the County Assessor's website shows that the previous structure at this specific site has been in place since about 1955.

The USDA Web Soil Survey maps the natural near surface soils at the site as Keg-Urban land complex, 0 to 2 percent slopes (4046). This mapping indicates that the natural near surface soils have been formed within silty alluvial materials and have been altered by man's presence.

Soils encountered in the boring included man-placed fill overlying alluvium consisting of silt and clays. The following is a brief review of the various layers of soil encountered in the boring.

Man-placed fill was encountered at the immediate ground surface in borings B-1, B-2, and B-3. The man-placed fill is thought to be from grading and development and demolition of the former structure at the site. The man-placed fill was described as brown to light brown, moist to very moist, and firm to hard. Visual classification generally suggested Lean Clay (CL) under the Unified Soil Classification System (USCS). Laboratory analysis of the recovered samples yielded moisture contents from 16.2 to 25.7 percent and a dry unit weight from 97.7 to 113.4 pounds per cubic foot, and unconfined compressive strengths from 0.90 to 1.64 tons per square foot.

Of the seven (7) recovered fill samples, one (1) was not able to be tested for dry unit weight because it crumbled during transport. The recovered and tested fill samples were compared to an assumed Modified Proctor of 114 pcf at an optimum moisture content of 16 percent. The comparison indicated that four (4) of the samples met or exceeded 90 percent compaction a moisture contents from +3 to +9 percent. Of the remaining two (2) samples, both met or exceeded 85 percent compaction. Based on this comparison, the fill is considered to be reasonably well compacted.

Natural alluvium was encountered underlying the man-placed fill all three borings. All of the borings were terminated in the alluvium. The alluvium consisted of cohesive silts and clays with very little to no sand component. The alluvium was described as dark brown to dark grayish brown to dark brownish gray to grayish dark brown to dark grayish dark brown, moist to wet, and soft to firm. Visual classification generally suggested Lean Clay (CL), Silt (ML) under the USCS. Laboratory analysis of the recovered samples yielded moisture contents from 23.9 to 35.4 percent, dry unit weights from 84.1 to 101.4 pcf, and unconfined compressive strengths from 0.21 to 3.57 tons per square foot.

Free ground water was not encountered during or after drilling operations within the depth investigated. Free ground water is not expected to be encountered within the depth of anticipated construction. However, it should be noted that ground water levels may fluctuate seasonally and yearly from the readings noted on the boring logs.

The following recommendations are based on the encountered soil conditions and our experience. Soil properties for the site have been assumed to be consistent with those identified in the boring samples. If conditions are encountered that are different from those indicated by the borings, we should be notified to determine the applicability of these recommendations in light of the encountered conditions.

Topsoil was not specifically identified in any of the on-site borings. Due to the former structure, the probability of topsoil being encountered is low. However, prior to on-site earthwork, topsoil, including the root crown, trees, shrubs, organic materials, and debris should be stripped, cleared, and grubbed. Removal of trees and shrubs should include the removal of the root ball. A greater excavation depth may be required below any trees or shrubs. The geotechnical engineer should be consulted during stripping and reserves the right to adjust the depth of stripping based on observations at the time of construction.

The borings did not encounter debris or buried structure features. Therefore, these features are not expected to be present. Should conditions be encountered, the geotechnical engineer should be notified to evaluate the conditions and provide specific recommendations. Burial of any debris-like materials is strictly prohibited.

It is anticipated that significant new fill placement (defined as >4) will not be needed at the site to create a level pad for the proposed parking lot addition. However, if significant new grade raise fill placement (defined as >4) is needed, the geotechnical engineer should be consulted to evaluate settlement conditions based on additional fill placement.

The on-site excavations are expected to encounter soils with moisture contents generally above optimum in the materials excavated. In general, the on-site materials are expected to be suitable for reuse as structural fill or backfill following moisture conditioning and processing. Most of the on-site soils are expected to require blending or drying to maintain moisture contents at optimum or above. Processing should include reducing maximum particle size to less than 1½ inches. Soil types that are potentially swell susceptible should be excluded from use as on-site structural fill.

Imported fill could be required for use as backfill or as a blending material or replacement material. Imported fill should exhibit a liquid limit less than 43 and a plasticity index less than 23, be free of organics, debris, particles larger than 1½ inch and other deleterious materials. Compaction of all fill material placed is necessary to minimize post-construction compression (settlement) of the fill.

For the purposes of estimating earthwork quantities, 1 cubic yard of compacted structural fill can be expected to require 1.35 cubic yards of on-site excavation.

All site fill material should be considered structural fill. Compaction requirements for cohesive fills should be referenced to the ASTM D1557 (Modified Proctor) test method. The expected on-site borrow will be cohesive, Lean Clay materials. Therefore, compaction is expected to be best accomplished by a sheep's foot type compactor because of its kneading effect during compaction. Moisture conditioning of the fill soil prior to compaction helps make the compactive effort more effective and efficient.

Proper compaction is key to reducing infiltration which can lead to collapse settlements of soils. Steps to protect the final soil grade immediately adjacent to the parking lot from surface erosion and moisture content changes will significantly reduce potential risks. Additionally, during construction, the exposed grades may be susceptible to saturation, runoff, and erosion. Effective precautions to slow runoff and reduce erosion will be needed.

Structural fill should be compacted to at least 90 percent of the Modified Proctor maximum density at a moisture content within -3 to +5 percent of the optimum moisture content. Backfill for shallow utilities should be compacted to at least 85 percent of the Modified Proctor maximum density at a moisture content from -4 to +5 percent of the optimum moisture content.

All fill material should be placed in thin, horizontal lifts, and moisture conditioned prior to compaction. Loose lift thickness should be adjusted depending on the contractor's construction equipment but should generally not exceed 12 inches. Fill placed to create an embankment slope should be compacted in horizontal layers, with compactive effort extending to the slope face. In many cases, overbuilding the slope may be needed to facilitate slope face compaction prior to cutting to the required shape. When fill is placed adjacent to an existing embankment slope, the existing slope should be stepped or benched to allow the placement of horizontal layers to eliminate a shear plane. Steps or benches should be no greater than 4 feet in height.

Periodic testing of all fill material placed is encouraged to document compaction effectiveness to recommended requirements. Compaction testing can be performed by ASTM D6938, In-Place Density and Water Content of Soil by Nuclear Methods (Shallow Depth); or ASTM D2937, Density of Soil in Place by the Drive-Cylinder Method; or ASTM D6938, Laboratory Determination of Density (Unit Weight) of Soil Specimens, in conjunction with ASTM D1587, Thin-Walled Tube Sampling of Soil for Geotechnical Purposes.

For mass grading fills, recommended compaction testing frequency per lift of fill should be in range or one (1) test per 30,000 to 60,000 square feet. For pavement subgrades and building pad subgrades, the recommended compaction testing frequency should be the range of one (1) test per 5,000 to 10,000 square feet. Backfill for utility installations should include compaction testing frequency recommended at 50-to-100-foot intervals of piping runs, and at each manhole structure. Additional compaction testing at the discretion of the Geotechnical engineer or project design team representatives may also be required, based on installed conditions.

The soils found at this site are typical of the area. Past experience indicates that corrosion potential of buried metallic pipes in these soils is moderate, so it is recommended that polyethylene wrap is provided for ductile iron piping. Sulfate corrosion potential of cement is minimal, and Portland cement is suitable for use. All concrete used for this project should be air-entrained to reduce damage from frost action.

Pavement performance is directly affected by the degree of compaction, uniformity, and stability of the subgrade. For our analysis the parking lot was anticipated to carry an ACI 330 Traffic Category B with no more than 25 heavy trucks per day. It is recommended that the subgrade under pavements be prepared to a depth of 24 inches. Should the traffic mixture be composed of only automobile or pickup truck parking, subgrade thickness can be reduced to 12 inches. Subgrades are recommended to be compacted to the requirements of structural fill. The subgrade materials should be moisture conditioned prior to compaction. The subgrade should extend beyond the pavement edge or back of curb by at least 1 foot or 3 feet if slip formed paved to provide edge support.

The final subgrade should be proof rolled immediately prior to placement of the concrete or asphalt to detect any localized areas of instability. Proof rolling may be accomplished by using a twin axle, dual wheel dump truck, which is partially or loaded. Proof rolling should be performed in the presence of the geotechnical engineer. Unstable areas should be reworked to provide a uniform subgrade. Subgrade materials disturbed by precipitation or construction traffic should be repaired by scarification and re-compaction. Significantly disturbed areas should be over-excavated and replaced with structural fill. It should be noted that the above subgrade compaction requirements are minimum recommended values. More stringent requirements based on specific pavement design should supersede these recommendations.

Provided the above subgrade recommendations are applied, a subgrade modulus, k , of 100 pounds per cubic inch or a CBR value of 4 may be used for structural design of hydraulic cement concrete or asphaltic concrete pavements.

Surface drainage around the pavement is also important to long term performance. Curbs should be backfilled as soon as possible after construction of the pavement. Backfill should be compacted and should be sloped to prevent water from ponding and infiltrating under the pavement. All pavement joints should be caulked, any cracks should be promptly sealed to prevent moisture intrusion into the subgrade.

The pavement thickness design used assumed traffic loading, the recommended subgrade preparation methods, ACI 330, and our local experience. Portland cement concrete (PCC) construction is anticipated for use in the proposed parking lot addition. The pavement thickness used the recommended subgrade preparation methods. ACI 330 Traffic Category B with no more than 25 heavy trucks per day a minimum thickness of PCC concrete of 7 inches should be used. Should the traffic mixture be composed of only automobile or pickup trucks, the pavement minimum thickness may be reduced to 6 inches. A minimum thickness of PCC of 4 inches for sidewalks or exterior slabs not subject to traffic is suggested.

The concrete used must have a minimum 28-day compressive strength of 3,500 psi and from 6.0 to 10 percent air-entrainment and meet Iowa SUDAS specifications (Section 7010).

The pavement must be properly jointed, and curbs backfilled as soon as strength requirements are met. PCC pavements should utilize transverse joint spacing not exceeding 12 to 15 feet and made to a depth of a least $\frac{1}{4}$ of the slab depth. Jointing should result in square panels, but no panel should be more than $1\frac{1}{2}$ times the short side. Tie bars should be used for longitudinal joints. Longitudinal construction joints should utilize keyed construction to provide a load transfer mechanism. Dowel bars should be considered where new pavements abut existing pavements to allow for improved load transfer.

The conclusions and recommendations contained herein are based in part on the soil investigation as described above. Differing soil conditions under the level inspected may be present, but yet unknown. Please contact our office if differing conditions become apparent so that we may determine the applicability of these recommendations in light of the encountered conditions.

Buildings & Grounds Pottawattamie County
Lots 9 & 10, Bayless First Addition
October 16, 2024
Page 6

We appreciate the opportunity to be of service on this project. Please feel free to contact our office if you have any questions or require additional assistance.

Respectfully submitted,
THOMPSON, DREESSEN & DORNER, INC.

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa



Kurtis L. Rohn, P.E.
Geotechnical Engineer



License Number 16547
My License Renewal Date is December 31, 2024

KLR/alj

Enclosures



Job Number: 2388-189
thompson, dreessen & dornier, inc.
10836 Old Mill Rd
Omaha, NE 68154
p.402.330.8860 www.td2co.com

Date: 10/10/24
Drawn By: KLR
Reviewed By: KLR
Revision Date: ..

Parking Lot Addition
223 South 6th Street, Council Bluffs, Iowa

Boring Location Plan

SOIL BORING LOGS

Water Level Observations: Water level observations were made under the conditions noted in the open, uncased bore holes. Fluctuations in the water levels may occur with time, precipitation, and other factors.

Samples: Samples types are identified by letter and by consecutive number within a boring:

- U Thin-walled tube sample.
- S Split spoon sample.
- A Auger disturbed sample obtained from auger cuttings.
- CC Continuous core sample from Macro Core® sampler.
- RC Rock core sample.

N-Blows per Foot: Resistance as measured while performing the Standard Penetration Test. The number indicates blows for the last 12 inches of penetration of the split spoon sampler. Multiple numbers indicate blows per 6 inches of penetration or blows per length driven.

Recovery: Recovery is shown as a ratio of inches of sample recovered to inches of sample attempted.

Penetrometer Strength: The hand penetrometer resistance in tons per square foot determined in the field for the recovered sample.

Physical Description: The description includes color, moisture condition, consistency, and Unified Soil Classification System description. The USCS description is either interpreted or determined as noted. Includes other pertinent comments from field observations.

Geologic Description: A brief geologic interpretation and observations of the recovered samples and/or exposed cuttings.

Graphical Log: The symbols suggest the observed variations in the geologic formations or soils layers showing similar attributes. The soil boring log Geologic Description contains detailed descriptions. A symbol legend follows the soil boring logs.

Laboratory Results: Brief summary of selected laboratory results. A separate Summary of Soil Testing Results provides more complete information.

Limitations: The profiles indicated on the logs are an idealized description of the subsurface soil materials based on the observations of the recovered samples. The boundary lines shown represent approximate boundaries between material types and the actual changes may be gradual.

CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES (Based on Unified Soil Classification System) ASTM: D 2487

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests ^A				Soil Classification	
				Group Symbol	Group Name ^B
Coarse-Grained Soils: More than 50% retained on No. 200 sieve	Gravels (More than 50% of coarse fraction retained on No. 4 sieve)	Clean Gravels (less than 5% fines ^C)	$Cu \geq 4$ and $1 \leq Cc < 3$ ^D	GW	Well-graded gravel ^E
		Gravels with Fines (more than 12% fines ^C)	$Cu < 4$ and/or [$Cc < 1$ or $Cc > 3$] ^D	GP	Poorly graded gravel ^E
	Sands (50% or more of coarse fraction passes No. 4 sieve)	Clean Sands (less than 5% fines ^H)	Fines classify as ML of MH	GM	Silty gravel ^{E, F, G}
		Sands with Fines (more than 12% fines ^H)	Fines classify as CL or CH	GC	Clayey gravel ^{E, F, G}
		Clean Sands (less than 5% fines ^H)	$Cu \geq 6$ and $[1 < Cc < 3]$ ^D	SW	Well-graded sand ^I
		Sands with Fines (more than 12% fines ^H)	$Cu < 6$ and/or [$Cc < 1$ or $Cc > 3$] ^D	SP	Poorly graded sand ^I
Fine-Grained Soils: 50% or more passes the No. 200 sieve	Silts and Clays Liquid limit less than 50	Inorganic	PI > 7 and plots on or above "A" line ^J	CL	Lean clay ^{K, L, M}
		Organic	PI < 4 or plots below "A" line ^J	ML	Silt ^{K, L, M}
		Organic	Liquid limit (oven dried) < 0.75	OL	Organic clay ^{K, L, M, N}
		Organic	Liquid limit (not dried) < 0.75	OH	Organic silt ^{K, L, M, O}
	Silts and Clays Liquid limit 50 or more	Inorganic	PI plots on or above "A" line	CH	Fat clay ^{K, L, M}
		Inorganic	PI plots below "A" line	MH	Elastic silt ^{K, L, M}
		Organic	Liquid limit (oven dried) < 0.75	OH	Organic clay ^{K, L, M, P}
		Organic	Liquid limit (not dried) < 0.75	OL	Organic silt ^{K, L, M, Q}
Highly organic soils	Primarily organic matter, dark in color, and organic odor		PT	Peat	

^A Based on the material passing the 3-in. (75-mm) sieve

^B If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to the group name

^C Gravels with 5 to 12% fines require dual symbols:
 GW-GM well-graded gravel with silt
 GW-GC well-graded gravel with clay
 GP-GM poorly graded gravel with silt
 GP-GC poorly graded gravel with clay

$$Cu = \frac{D_{60}}{D_{10}} \quad Cc = \frac{(D_{30})^2}{D_{10} \times D_{60}}$$

^E If soil contains $\geq 15\%$ sand, add "with sand" to group name

^F If fines classify as CL-ML, use dual symbol GC-GM or SC-SM

^G If fines are organic, add "with organic fines" to group name

^H Sands with 5 to 12% fines require dual symbols:
 SW-SM well-graded sand with silt
 SW-SC well-graded sand with clay
 SP-SM poorly graded sand with silt
 SP-SC poorly graded sand with clay

^I If soil contains $\geq 15\%$ gravel, add "with gravel" to group name

^J If Atterberg limits plot in shaded area, soil is a CL-ML, silty clay

^K If soil contains 15 to $<30\%$ plus No. 200, add "with sand" or "with gravel", whichever is predominant

^L If soil contains $\geq 30\%$ plus No. 200, predominantly sand, add "sandy" to group name

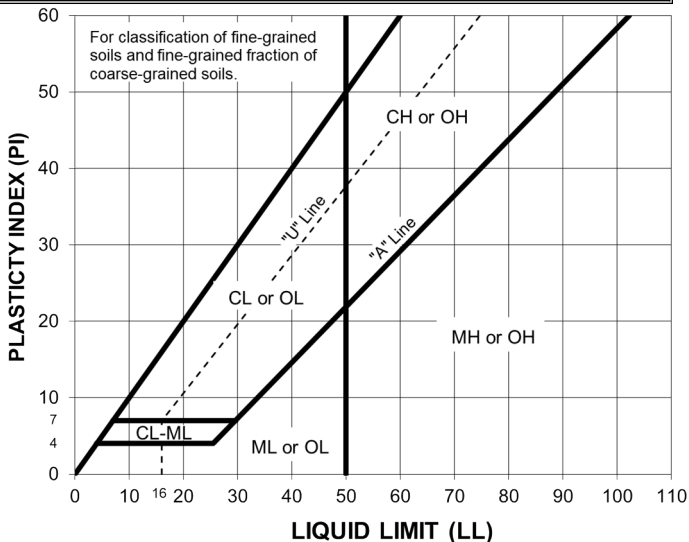
^M If soil contains $\geq 30\%$ plus No. 200, predominantly gravel, add "gravelly" to group name

^N PI ≥ 4 and plots on or above "A" line

^O PI < 4 or plots below "A" line

^P PI plots on or above "A" line

^Q PI plots below "A" line



SUMMARY OF SOIL TEST RESULTS

PROJECT: Parking Lot Addition

JOB NO: 2388-189

CLIENT: Pottawattamie County

DATE: 10/10/2024

LOCATION: 223 South 6th Street
Council Bluffs, Iowa

Page 1 of 1

BORING No.	SAMPLE NO.	SAMPLE DEPTH (ft.)	SAMPLE DIAM. (in.)	SAMPLE LENGTH (in.)	MOISTURE CONTENT (%)	DENSITY WET (pcf)	DENSITY DRY (pcf)	VOID RATIO (e)	SAT. (%)	UNCONFINED COMPRESSION		SOIL CLASSIFICATION					REMARKS
										qu (tsf)	STRAIN (%)	ATTERBERG LIMITS			GROUP SYMBOL	PASSING #200 (%)	
												LL	PL	PI			
B-1	U-1	1-2.5	2.81	4.93	22.1	123.9	101.4	0.649	91								
	U-2	3.5-5	2.82	5.88	21.3	126.6	104.4	0.602	95	1.37	3.8						
	U-3	7-8.5	2.90	5.82	33.3	115.0	86.2	0.939	95	0.21	4.4						
	U-4	8.5-10	2.86	5.88	34.2	115.3	85.9	0.946	97								
B-2	U-1	1-2.5	2.83	5.88	24.5	127.5	102.5	0.632	100	1.04	3.3						
	U-2	3.5-5	2.81	2.56	18.7	134.6	113.4	0.475	100								
	U-3	7-8.5	2.86	5.91	23.9	125.6	101.4	0.650	98	3.57	8.1						
	U-4	8.5-10	2.86	5.86	35.4	113.9	84.1	0.989	96								
	U-5	13.5-15	2.85	5.90	33.6	118.7	88.8	0.882	100								
B-3	U-1	1-2.5			16.2												
	U-2	3.5-5	2.84	5.88	25.7	122.8	97.7	0.711	97	0.90	2.7						
	U-3	7-8.5	2.70	5.90	24.4	140.3	112.7	0.484	100	1.64	3.8						
	U-4	8.5-10	2.85	5.87	30.1	115.4	88.7	0.886	91	0.32	3.0						



THOMPSON, DREESSEN & DORNER, INC.
Consulting Engineers & Land Surveyors

GEOTECHNICAL ENGINEERING DIVISION

Jason Slack/Director, Buildings and Grounds

Discussion and/or decision on placement of the Earl Weibe memorial stone at the flagpole area East of the Courthouse entrance.

Other Business

Lea Voss/Treasurer

**Discussion and/or decision on hiring pay of Clerk II at
Step 3.**

**Jana Lemrick/Director, Human
Resources and Melvyn
Houser/Auditor**

Discussion and/or decision to approve EBS flex spending amount effective January 1, 2025, through December 31, 2025, with a change to the section 125 IRS maximum from \$3,200 to the projected IRS amount for 2025 medical annual contribution.



Section 125 Renewal

Eligibility Information

Eligibility will remain the same as it is currently stated in the Plan Document if no changes are listed below.

Flex Plan Information

Plan Design will remain the same as it is currently stated in the Plan Document for Medical and Dependent Care setup (*Grace, No Grace, Rollover*) including amendments due to the Cares Act and Consolidated Appropriations Act. Amendments to extend plans or to remove limits on carryover amounts will remain in effect throughout the new plan year unless noted below. If you have questions about your current plan design, please contact EBS for details.

Current Plan Provisions	Indexed IRS Maximum	Limited Contribution
Medical Annual Contribution	\$3,200 ^{gr} 3300. ⁰⁰	
DCA Annual Contribution	\$5,000	
Employer Contribution		
Debit Card-Yes		
	Medical & Limited Flex	Dependent Day Care
No Grace, No Carryover		
Grace Option	X	X
Indexed Carryover		Not Available
Limited Carryover		Not Available
Minimum Carryover		Not Available
Runout for Active EE	90 days after end of plan	90 days after end of plan
Runout for Termed EE	90 days after last date worked	90 days after last date worked

Additional comments:

All plans that have selected the FSA Medical Carryover option will automatically increase to the IRS annual allowable amount of 20% of the maximum contribution limit every plan year. If you do not want the automatic increase in the Carryover option, indicate the maximum amount you want to Carryover. \$ _____

Yes No Do you want to implement a MINIMUM amount of Carryover for those employees who choose NOT to participate the next plan year. \$25 _____ \$50 _____ \$100 _____

Yes No I (group) want EBS to complete the required annual non-discrimination testing for the fees listed on the VOP below. I understand that (group) is required to complete the testing worksheets to have the tests performed. If EBS does not perform the testing, or if this question is left blank, non-discrimination testing becomes the responsibility of the group. Sole-proprietors and partners in a partnership may not participate in the Plan. S-Corporation more than 2% owners are not eligible to participate in the Plan; nor can employee-spouse, children, parents, and grandparents. Key, and highly compensated employees cannot have a disproportionate share of the before tax benefits within the Plan.

Yes No Are there changes to the pre-tax benefits offered through your Cafeteria plan? If yes, please list here:

Notifications and Reports


No Changes to notifications and reports.

We get too many emails. We only want the notifications and reports indicated below.

Notifications: Payroll Deduction Manual Claim Funding DC Funding

Monthly: Account Balance Detail Payment History Repayment

Received/Filed

Date: October 15, 2024
To: Board of Supervisors
CC: Matt Wyant, Planning and Zoning Director
Robert Mings, Developer
From: John Rasmussen, County Engineer 
RE: Stoneybrook East Phase 1 Project Acceptance

I certify (Subdivision Ordinance 9.05.100) that the Stoneybrook East Phase 1 subdivision has complied with the requirements of the Subdivision Ordinance, plans, standards, and specifications; or otherwise provided remedies for noted noncompliance. I recommend the subdivision be accepted and deemed complete.

The Final Inspection (Subdivision Ordinance 9.05.080) was conducted on October 15, 2024, The only concern was the establishment of the seeding, which is out of season and can't reasonably be expected in this weather. The Maintenance Bond will provide for seeding if that which is in place fails to establish.

A certification (Subdivision Ordinance 9.05.090) of the plans and specifications was submitted by the developer's engineer that all work meets the specifications and county standards. Additionally, this office received the "As Built" plans on October 15, 2024 as required in the Subdivision Ordinance.

A Maintenance Bond (Subdivision Ordinance 9.05.110) has been received for \$100,000 for a five-year period. The Maintenance Bond period was extended beyond the required period to remedy the noncompliance with the soil testing frequency required on the project.

Public Comments

Study Session