



Permit Application And Building Guide

Pottawattamie County
Planning & Development Department
Building & Safety Division

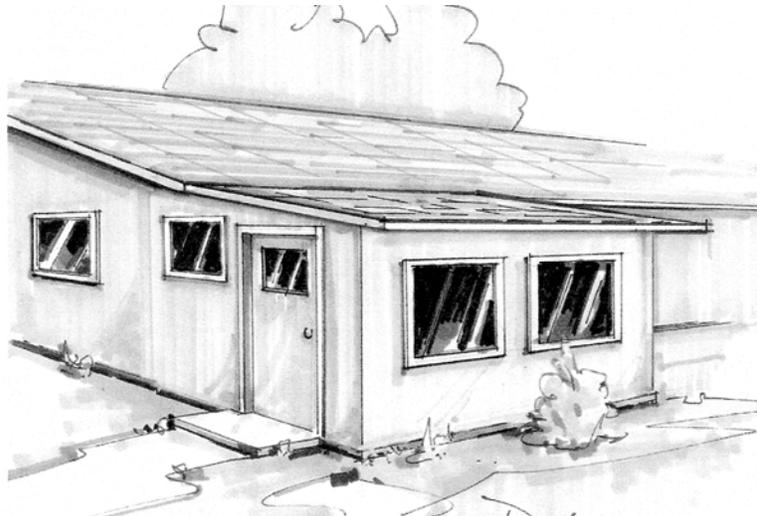
Single Family Residential Enclosing Existing Patio Covers

How to Use this Guide

1. Review this Building Guide
2. Fill out the building guide and provide a floor plan, and provide two (2) sets of plans (minimum 11" x 17" paper size).
3. Provide a site plan
4. Fill out the enclosed permit application
5. Fill out a Permit Valuation Worksheet

The majority of permit applications are processed with little delay, within 7 – 10 working days. Detailed and complete submittal documents will help expedite the permit process and determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.

INCOMPLETE PLANS AND/OR APPLICATIONS WILL NOT BE ACCEPTED



This handout was developed by the Pottawattamie County, Iowa, Building & Safety Division as a basic Plan Submittal under the 2009 IRC to help in questions that may arise in the application process. It is not intended to cover all circumstances or Code related issues as they pertain to individual projects.

Single Family Residential Enclosing Existing Patio Covers

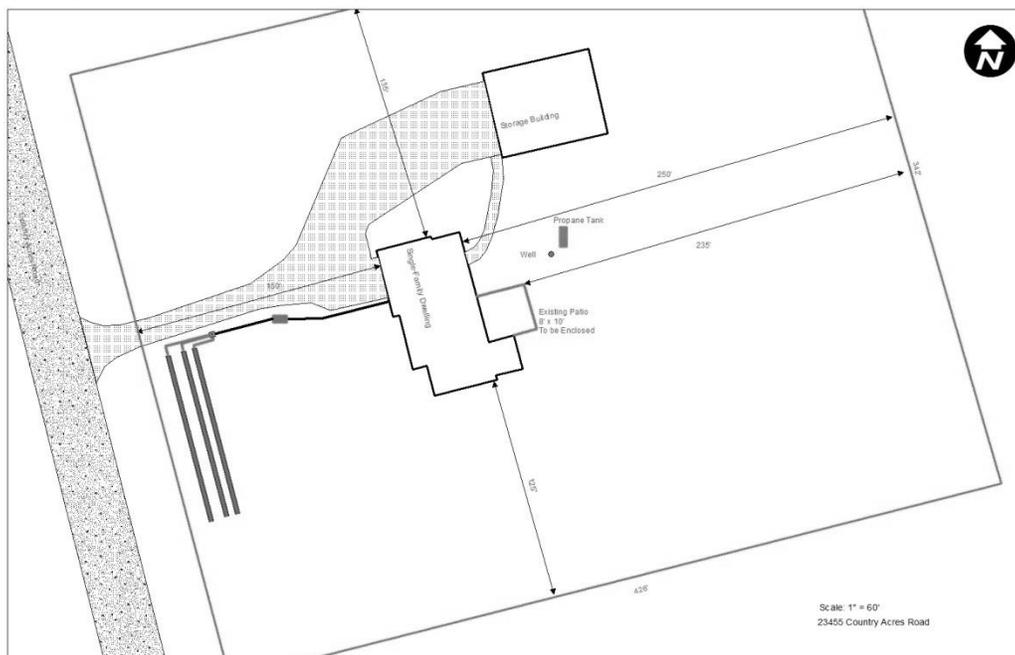
General Notes

1. This submittal would enclose an existing code compliant and previously permitted patio cover with new walls of glass, framing, or other approved materials, to create a new non-heated, non-habitable enclosed patio.
2. To be allowed any of the code exceptions listed under Appendix H of the 2009 IRC, Patio Cover enclosure walls may have any configuration, provided the open or glazed area of the longer wall and one additional wall is at least 65% of the area below a minimum of 6'-8" of each wall, measured from the floor.
3. Note; that all existing house windows and doors must remain in place. Heated areas and habitable rooms shall be submitted as a residential addition. The new room shall not block required egress from any area and shall not reduce any required natural light and ventilation.
4. Garage walls, doors and windows that previously had an exterior exposure but are now within the enclosure shall be modified to meet required fire rated separation requirements.
5. Note: Various ICBO-ES / ICC-ES Patio Cover Reports prohibit enclosure.
6. Provide gutters and downspouts with adequate drainage away from the structure.

Minimum Submittal Documents

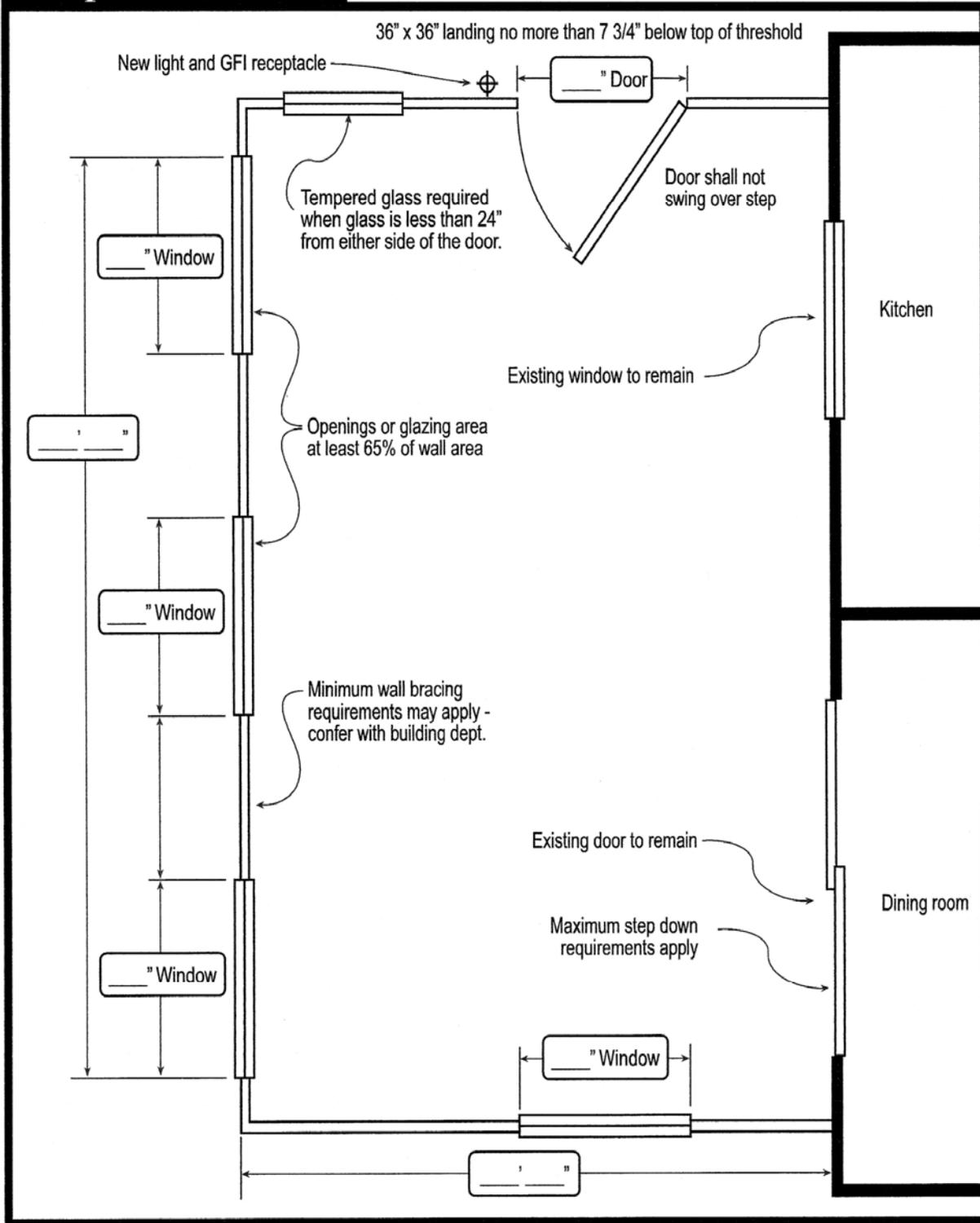
- 2 sets of complete construction documents, clearly indicating all components and how they are to be anchored to one another, to the slab / foundation, to the roof, and to the dwelling.
- A floor plan view of all room uses within the dwelling that are directly adjacent to the new patio enclosure. Include any existing windows wells (from the basement) that would now be within enclosure. See sample drawing on page 3.
- Details regarding how the new walls / glazing shall be protected from any potential slab movement due to frost and expansive soils.
- Frost protected foundation systems, or protection of existing slabs.
- A current ICBO-ES / ICC-ES or other approved inspection / design report for propriety wall component systems or assemblies.
- Provide an electrical plan indicating locations of outlets, lights and switches.
- Clarification of the type and location of lateral (wind) bracing, wall to foundation bolting, etc.

Sample Site Plan



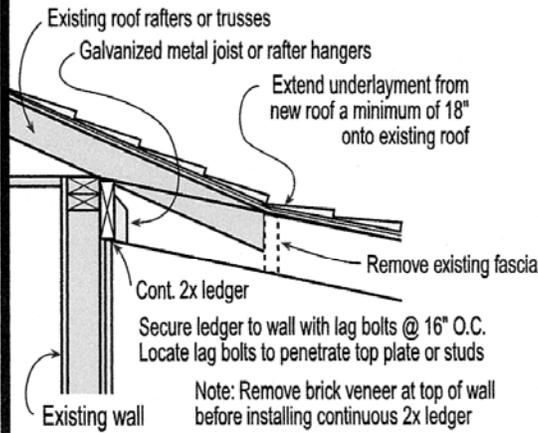
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Sample Floor Plan

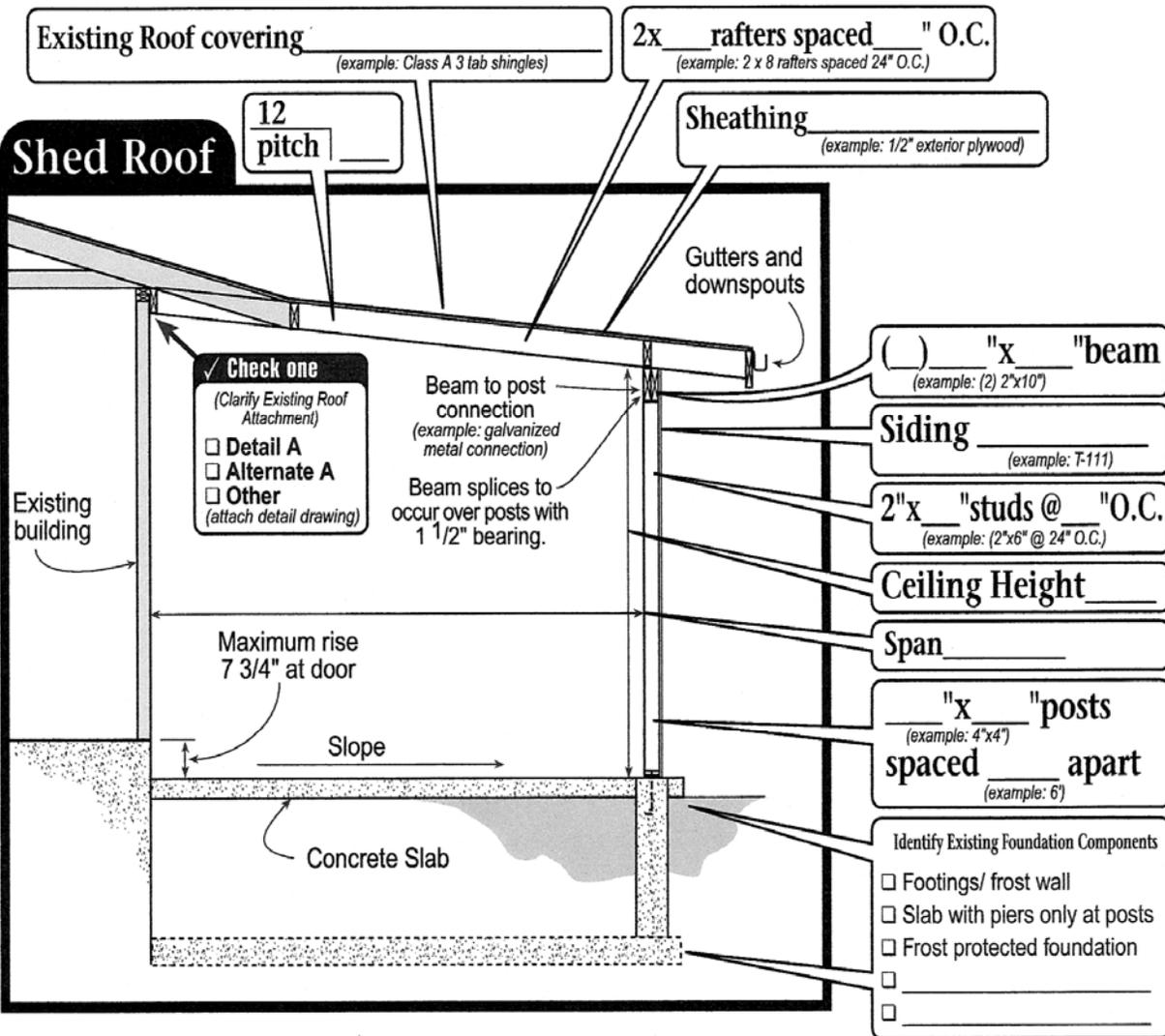
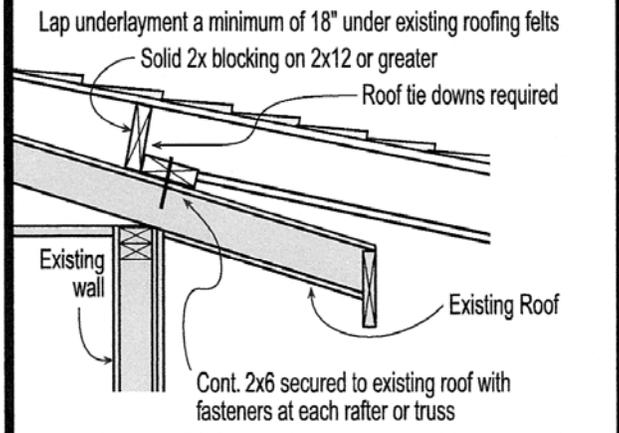


Single Family Residential Enclosing Existing Patio Covers

Detail A



Alternate Detail A



POTTAWATTAMIE COUNTY, IOWA ENCLOSING EXISTING PATIO COVER PERMIT APPLICATION

WHEN PERMITS ARE READY		<input type="checkbox"/> Mail them <input type="checkbox"/> Call me <input type="checkbox"/> Call the builder <input type="checkbox"/> Email me <input type="checkbox"/> Email the builder				
PROPERTY OWNER	Name					
	Mailing Address	Street		City, State, Zip		
	Contact Information	Email		Home # <input type="checkbox"/>		
	<input checked="" type="checkbox"/> Best Way to Contact	<input type="checkbox"/>		Work # <input type="checkbox"/>		
			Cellular <input type="checkbox"/>			
APPLICANT <small>(if other than property owner)</small>	Name					
	Mailing Address	Street		City, St, Zip		
	Contact Information	Email		Home # <input type="checkbox"/>		
	<input checked="" type="checkbox"/> Best Way to Contact	<input type="checkbox"/>		Work # <input type="checkbox"/>		
			Cellular <input type="checkbox"/>			
PROPERTY INFORMATION	Job Site Address	<input type="checkbox"/> Same as above #1 <input type="checkbox"/> To be assigned by Planning Dept.				
	Civil Township					
	Legal Description	<input type="checkbox"/> Per Attachment				
	Parcel Number					
	Zoning District	<input type="checkbox"/> A-1 <input type="checkbox"/> A-2 <input type="checkbox"/> A-3 <input type="checkbox"/> A-4 <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-5				
	Floodplain Development	<input type="checkbox"/> Yes <input type="checkbox"/> No		If yes, subject to Flood Plain Regulations. See separate Flood Plain Development Permit Application.		
BUILDER <small>(if other than property owners)</small>	Name				State Registration#	
	Mailing Address	Street			City, State, Zip	
	Contact Information	Email			Work # <input type="checkbox"/>	
	<input checked="" type="checkbox"/> Best Way to Contact	<input type="checkbox"/>			Cellular <input type="checkbox"/>	
	Electrical Contractor A			State License#		
IMPROVEMENTS	Proposed Construction Description	Example: Enclose existing 10' x 20' concrete patio covered area				
	Valuation Estimate (From Valuation Calculation Form)			Proposed Construction Area (Sq. Ft.)		
	Use of Structure	<input type="checkbox"/> Agricultural <input type="checkbox"/> Residential For Commercial or Industrial use Form #102.				
BULK ZONING STANDARDS	STANDARDS		ACCESSORY STRUCTURE			
		Minimum	Maximum	Proposed		
	Building Height					
	Number of Stories					
	Front Yard*					
	Street Side Yard*					
	Rear Yard	or 4'***				
	Interior Side Yard	or 4'***				
Lot Coverage						
<p><i>*The front yard and street side setback minimums are measured from the road right-of-way, not from the center of the road and not from the edge of the gravel or pavement.</i></p> <p><i>**Detached accessory building may be located in the rear yard and shall occupy not more than 30% percent of the required rear yard; provided however, that this regulation shall not be interpreted as to prohibit the construction of a 440 square foot private garage on a minimum rear yard. Such buildings erected in a rear yard shall not be located closer than 4' to rear or side property line and on corner lots shall also comply with the setback requirements for side street yards as specified in Section 8.004.050.</i></p> <p>IN THE EVENT NO PRINCIPAL STRUCTURE IS LOCATED ON THE PROPERTY SAID STRUCTURE SHALL NOT BE ABLE TO BE SITUATED WITH A SETBACK LESS THAN THE MINIMUM (I.E. NOT 4')</p>						

ATTACHMENTS

ATTACHED TO THIS APPLICATION IS THE FOLLOWING DOCUMENTATION AND/OR ATTACHMENTS:

	Attached	NA
A. Completed Building Guide and/or Plans	<input type="checkbox"/>	<input type="checkbox"/>
B. Site Plan, Drawn to Scale	<input type="checkbox"/>	<input type="checkbox"/>
C. Permit Valuation Worksheet	<input type="checkbox"/>	<input type="checkbox"/>
D. Filing Fee-Checks are to be made payable to "Pottawattamie County Treasurer".	<input type="checkbox"/>	<input type="checkbox"/>

Please make be certain that you want to proceed with this project when you submit your application. The fees that you submit are not refundable once the application is submitted.

SIGNATURES

I certify that I have personally been to this property, reviewed the proposed development and acknowledge that the proposed construction of the BUILDING(S) will be able to be accomplished in accordance with the Building and Zoning Ordinance of Pottawattamie County, Iowa.		
Building Contractor	Signature	Date
	Type or Print Name	
I certify that I own this property and that the information contained in this application is true and correct to the best of my knowledge and that all work will be completed in accordance with the Pottawattamie County, Iowa, Code.		
Property Owner	Signature	Date
	Type or Print Name	

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

DO NOT START CONSTRUCTION UNTIL APPROVED PERMITS ARE RECEIVED IN THE MAIL OR YOU HAVE PICKED THEM UP AND PLACARDS ARE POSTED. FAILURE TO WAIT FOR PERMITS AND POST PLACARDS WILL CAUSE YOU TO HAVE TO PAY AN INVESTIGATION FEE, WHICH IS DOUBLE THAT OF ANY PERMIT FEES YOU PAY. ADDITIONALLY, FAILURE TO OBTAIN PERMITS PRIOR TO STARTING CONSTRUCTION COULD RESULT IN THE ISSUANCE OF A CITATION OF COUNTY INFRACTION. OUR GOAL IS TO HAVE PERMITS OBTAINED PRIOR TO CONSTRUCTION STARTING. PLEASE HELP US ATTAIN THIS GOAL BY APPLYING FOR AND OBTAINING YOUR PERMITS BEFORE STARTING YOUR CONSTRUCTION.

RETURN COMPLETED FORM TO OBTAIN PERMIT PRIOR TO STARTING CONSTRUCTION:

POTTAWATTAMIE COUNTY
PLANNING AND DEVELOPMENT
223 SOUTH 6TH STREET
COUNCIL BLUFFS, IA 51501-4245

IF YOU HAVE ANY QUESTIONS ON COMPLETING THIS FORM, PLEASE FEEL FREE TO CALL (712) 328-5792.
YOU MAY BE DIRECTED TO THE BUILDING DIVISION IF YOU HAVE QUESTIONS RELATIVE TO THE BUILDING CODE RELATED ISSUES.



Enclosing Existing Patio Cover Permit Valuation Worksheet

Building Valuation of	Per Square Foot Multiplier
Enclose Existing Patio Cover (Sunroom/Non-Habitable Area)	\$14.75
Enclosed Habitable Area	\$29.50

Type of Building	Square Footage		Per Square Foot Multiplier	Valuation
		x		
		x		
Permit Valuation				

PERMIT FEES			
	Applicant calculation	Staff Calculation	
	AMOUNT	AMOUNT	
After calculating the square footage with the valuation multiplier above and determining your total permitted valuation. Use the Building Permit Fee Schedule below and determine your Building Permit Fee. This permit fee will be verified during plan review and collected at the time of permit issuance.	Building Permit Fee		
Figuring the Plan Review at 25% of the calculated Building Permit cost. The Plan Review will be a required deposit at the time of your permit application submittal.	Plan Review Fee (Submittal Deposit)		
	TOTAL AMOUNT		

BUILDING PERMIT FEE SCHEDULE * (Title 1.50.105)

TOTAL VALUATION	FEE
\$1 to \$500	\$ 23.50
\$501 to \$2,000	\$ 23.50 for the first \$ 500.00 plus \$ 3.05 for each additional \$ 100.00, or fraction thereof, to and including \$ 2,000.00
\$2,001 to \$25,000	\$ 69.25 for the first \$ 2,000.00 plus \$ 14.00 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 25,000.00
\$25,001 to \$50,000	\$ 391.75 for the first \$ 25,000.00 plus \$ 10.10 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 50,000.00
\$50,001 to \$100,000	\$ 643.75 for the first \$ 50,000.00 plus \$ 7.00 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 100,000.00
\$100,001 to \$500,000	\$ 993.75 for the first \$ 100,000.00 plus \$ 5.60 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 500,000.00
\$500,001 to \$1,000,000	\$ 3,233.75 for the first \$ 500,000.00 plus \$ 4.75 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 1,000,000.00
\$1,000,001 and up	\$ 5,608.75 for the first \$ 1,000,000.00 plus \$ 3.15 for each additional \$ 1,000.00, or fraction thereof

EXAMPLE

Type of Building Area	Square Footage		Per Square Foot Multiplier	Valuation
Enclose Existing 10' x 20' Patio cover area	200	x	\$14.75	\$2,950.00
Permit Valuation				\$2,950.00

Proposed Total Valuation of \$2,950

For the first \$2,000 = \$69.25, plus \$14.00 for each additional \$1,000 or fraction thereof...

Building Permit Fee	\$ 82.50
Plan Review Fee	\$ 20.75 [25% (\$82.50 x .25)]
Total Permit Fee	\$ 103.25